

NORTH KELSON AVE

725 SOUTH SERVICE ROAD GRIMSBY, ONTARIO, CANADA, L3M 4E8



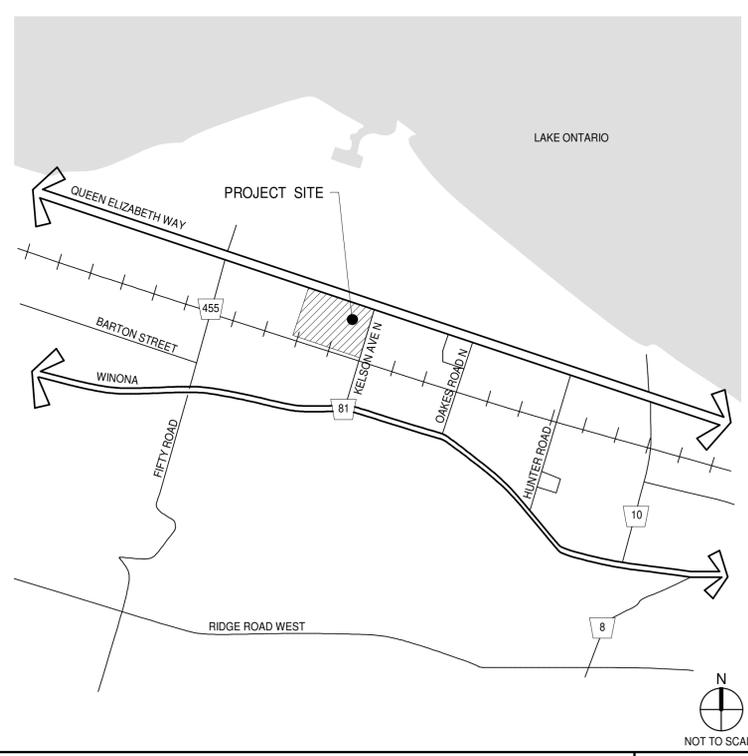
WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
6220 Hwy 7, Suite 300
Vaughan, Ontario L4H 0R1, Canada
P 905.850.4696



anatolia BEST MANAGED COMPANIES

NORTH KELSON AVE
725 SOUTH SERVICE ROAD
GRIMSBY, ONTARIO,
CANADA, L3M 4E8

| | | | |
|---------------------|--------------|----------------------------|--------------------|
| VICINITY MAP | OWNER | OWNER'S CONSULTANTS | SHEET INDEX |
|---------------------|--------------|----------------------------|--------------------|



ANATOLIA CAPITAL GROUP
8300 HUNTINGTON ROAD
VAUGHAN, ONTARIO
CANADA, L4H 4Z6

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EMAIL: josh.berry@anatolia.com

ARCHITECT

WARE MALCOMB
6220 HWY 7, SUITE 300
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CANADA
P 905.850.4696

PRIMARY CONTACT: HOOMAN BANAEI
PH: (905) 850-4696 X2151
EMAIL: hbanaei@waremalcomb.com

CIVIL ENGINEER
GEI CONSULTANTS LTD.
75 TIVERTON COURT, UNIT 10
MARKHAM, ONTARIO
CANADA L3R 4M8

PRIMARY CONTACT: TREVOR VAN LIEROP
PH: (647) 239-7796
EMAIL: tvanlierop@geiconsultants.com

TRAFFIC ENGINEER
WSP

PRIMARY CONTACT: PETER YU
PH: (289) 982-4764
EMAIL: peter.yu@wsp.com

NOISE AND VIBRATION STUDY
AERCOUSTICS ENGINEERING LTD.

PRIMARY CONTACT: DEREK FLAKE
PH:
EMAIL: derek@aecoustics.com

ELECTRICAL ENGINEER
INVIRO ENGINEERED SYSTEMS LTD.

PRIMARY CONTACT: KEVIN SEKHON
PH: (416) 491-4455 x305
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LANDSCAPE ARCHITECT
ADESSO DESIGN INC.

PRIMARY CONTACT: GRAHAM TAYLOR
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ARCHAEOLOGY
THE ARCHAEOLOGISTS INC.

PRIMARY CONTACT: KEITH POWERS
PH: (416) 991-6848
EMAIL: kpowers@thearchaeologists.com

| | |
|---------------------------------------|--|
| ARCHITECTURAL | |
| G010 TITLE SHEET | |
| G020 MATRIX SCHEDULES | |
| A1.0 SITE PLAN | |
| A1.1 SITE PLAN | |
| A1.2 SITE PLAN | |
| A1.3 SITE PLAN | |
| A120 BUILDING 1 - FLOOR PLAN | |
| A121 BUILDING 2 - FLOOR PLAN | |
| A122 BUILDING 3 - FLOOR PLAN | |
| A190 BUILDING 1 - ROOF PLAN | |
| A191 BUILDING 2 - ROOF PLAN | |
| A192 BUILDING 3 - ROOF PLAN | |
| A210 BUILDING 1 - EXTERIOR ELEVATIONS | |
| A211 BUILDING 2 - EXTERIOR ELEVATIONS | |
| A212 BUILDING 3 - EXTERIOR ELEVATIONS | |
| A310 BUILDING 1 - BUILDING SECTIONS | |
| A311 BUILDING 2 - BUILDING SECTIONS | |
| A312 BUILDING 3 - BUILDING SECTIONS | |
| ARCHITECTURAL SHEET COUNT: 18 | |

TOTAL SHEETS
18

| | |
|--------------------|----------------|
| TITLE SHEET | |
| DATE | REMARKS |
| 1 2023-12-15 | ISSUED FOR SPA |

| | |
|------------|---------------|
| PA/PM: | H. BANAEI |
| DRAWN BY.: | O.T. |
| JOB NO.: | TOR22-0096-00 |

SHEET
G010

Autodesk Docs/TD022-0096-00_North Kelson Ave 0096_A.rvt

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OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: NORTH KELSON AVE
LOCATION: 725 SOUTH SERVICE ROAD GRIMSBY, ONTARIO, CANADA, L3M 4E8
BUILDING 3



OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: NORTH KELSON AVE
LOCATION: 725 SOUTH SERVICE ROAD GRIMSBY, ONTARIO, CANADA, L3M 4E8
BUILDING 2



OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
CERTIFICATE OF PRACTICE NUMBER: 3619
NAME OF PROJECT: NORTH KELSON AVE
LOCATION: 725 SOUTH SERVICE ROAD GRIMSBY, ONTARIO, CANADA, L3M 4E8
BUILDING 1



ITEM ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9

BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.

1 PROJECT DESCRIPTION: INDUSTRIAL SHELL BUILDING
NEW ADDITION ALTERATION
CHANGE OF USE

PART 3 PART 9
1.1.2 (A) 1.1.2 (A) & 9.10.1.3

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NEW ADDITION ALTERATION
CHANGE OF USE

PART 3 PART 9
1.1.2 (A) 1.1.2 (A) & 9.10.1.3

2 MAJOR OCCUPANCY(S) GROUP F, DIVISION 2

3.1.2.1.(1) 9.10.2

2 MAJOR OCCUPANCY(S) GROUP F, DIVISION 2

3.1.2.1.(1) 9.10.2

2 MAJOR OCCUPANCY(S)

3.1.2.1.(1) 9.10.2

3 BUILDING AREA (sq.m.) NEW: 11,494 TOTAL: 11,494

1.4.1.2 (A) 1.4.1.2 (A)

3 BUILDING AREA (sq.m.) NEW: 21,167 TOTAL: 21,167

1.4.1.2 (A) 1.4.1.2 (A)

3 BUILDING AREA (sq.m.) NEW: 20,020 TOTAL: 20,020

1.4.1.2 (A) 1.4.1.2 (A)

4 GROSS AREA (sq.m.) NEW: 11,494 TOTAL: 11,494

1.4.1.2 (A) 1.4.1.2 (A)

4 GROSS AREA (sq.m.) NEW: 21,167 TOTAL: 21,167

1.4.1.2 (A) 1.4.1.2 (A)

4 GROSS AREA (sq.m.) NEW: 20,020 TOTAL: 20,020

1.4.1.2 (A) 1.4.1.2 (A)

5 NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0

1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4

5 NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0

1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4

5 NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0 27,035

1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4

6 NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3

3.2.2.10 & 3.2.5.5 9.10.20

6 NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3

3.2.2.10 & 3.2.5.5 9.10.20

6 NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3

3.2.2.10 & 3.2.5.5 9.10.20

7 BUILDING CLASSIFICATION(S) 3.2.2.67 GROUP F2 ANY HEIGHT, ANY AREA, SPRINKLERED

3.2.2.20-83 9.10.2

7 BUILDING CLASSIFICATION(S) 3.2.2.67 GROUP F2 ANY HEIGHT, ANY AREA, SPRINKLERED

3.2.2.20-83 9.10.2

7 BUILDING CLASSIFICATION(S) 3.2.2.67 GROUP F2 ANY HEIGHT, ANY AREA, SPRINKLERED

3.2.2.20-83 9.10.2

8 SPRINKLER SYSTEM PROPOSED

3.2.2.20-83 9.10.8.2

8 SPRINKLER SYSTEM PROPOSED

3.2.2.20-83 9.10.8.2

8 SPRINKLER SYSTEM PROPOSED

3.2.2.20-83 9.10.8.2

9 STANDPIPE REQUIRED

3.2.9 N/A

9 STANDPIPE REQUIRED

3.2.9 N/A

9 STANDPIPE REQUIRED

3.2.9 N/A

10 FIRE ALARM REQUIRED

3.2.4 9.10.18

10 FIRE ALARM REQUIRED

3.2.4 9.10.18

10 FIRE ALARM REQUIRED

3.2.4 9.10.18

11 WATER SERVICE / SUPPLY IS ADEQUATE

3.2.5.7 N/A

11 WATER SERVICE / SUPPLY IS ADEQUATE

3.2.5.7 N/A

11 WATER SERVICE / SUPPLY IS ADEQUATE

3.2.5.7 N/A

12 HIGH BUILDING

3.2.6 N/A

12 HIGH BUILDING

3.2.6 N/A

12 HIGH BUILDING

3.2.6 N/A

13 CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION

3.2.2.20-83 9.10.6

13 CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION

3.2.2.20-83 9.10.6

13 CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION

3.2.2.20-83 9.10.6

14 MEZZANINE(S) AREA m2 N/A

3.2.1.1.(3)-(8) 9.10.4.1

14 MEZZANINE(S) AREA m2 N/A

3.2.1.1.(3)-(8) 9.10.4.1

14 MEZZANINE(S) AREA m2 N/A

3.2.1.1.(3)-(8) 9.10.4.1

15 OCCUPANT LOAD BASED ON GROUND FLOOR: WAREHOUSE OCCUPANCY: F2 LOAD (PERSONS): <300

3.1.17 9.9.1.3

15 OCCUPANT LOAD BASED ON GROUND FLOOR: WAREHOUSE OCCUPANCY: F2 LOAD (PERSONS): <300

3.1.17 9.9.1.3

15 OCCUPANT LOAD BASED ON GROUND FLOOR: WAREHOUSE OCCUPANCY: F2 LOAD (PERSONS): <300

3.1.17 9.9.1.3

16 BARRIER-FREE DESIGN

3.8 9.5.2

16 BARRIER-FREE DESIGN

3.8 9.5.2

16 BARRIER-FREE DESIGN

3.8 9.5.2

17 HAZARDOUS SUBSTANCES

3.3.1.2 & 3.3.1.19 9.10.1.3 (4)

17 HAZARDOUS SUBSTANCES

3.3.1.2 & 3.3.1.19 9.10.1.3 (4)

17 HAZARDOUS SUBSTANCES

3.3.1.2 & 3.3.1.19 9.10.1.3 (4)

Table with 3 columns: HORIZONTAL ASSEMBLIES FRR (HOURS), LISTED DESIGN No. OR DESCRIPTION (SG-2), and FRR OF SUPPORTING MEMBERS. Rows include FLOORS, ROOF, MEZZANINE, and FRR OF SUPPORTING MEMBERS.

Table with 3 columns: HORIZONTAL ASSEMBLIES FRR (HOURS), LISTED DESIGN No. OR DESCRIPTION (SG-2), and FRR OF SUPPORTING MEMBERS. Rows include FLOORS, ROOF, MEZZANINE, and FRR OF SUPPORTING MEMBERS.

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Table with 10 columns: WALL, AREA OF EBF (sq. m.), LD. (m), L/H OR H/L, PERMITTED MAX. % OF OPENINGS, PROPOSED % OF OPENINGS, FRR (HOURS), LISTED DESIGN No. OR DESCRIP., COMB. CONSTR., COMB. CONSTR. NON-C. CLADDING, NON-COMB. CONSTRUCTION. Rows include NORTH, SOUTH, EAST, WEST.

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MATRIX SCHEDULES table with columns: DATE, REMARKS, ISSUED FOR, and SCHEDULES.

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WARE MALCOMB logo and contact information: 6220 Hwy 7, Suite 300, Vaughan, Ontario L4H 0R1, Canada. P 905.850.4896



anatolia logo with tagline 'BEST MANAGED COMPANIES'

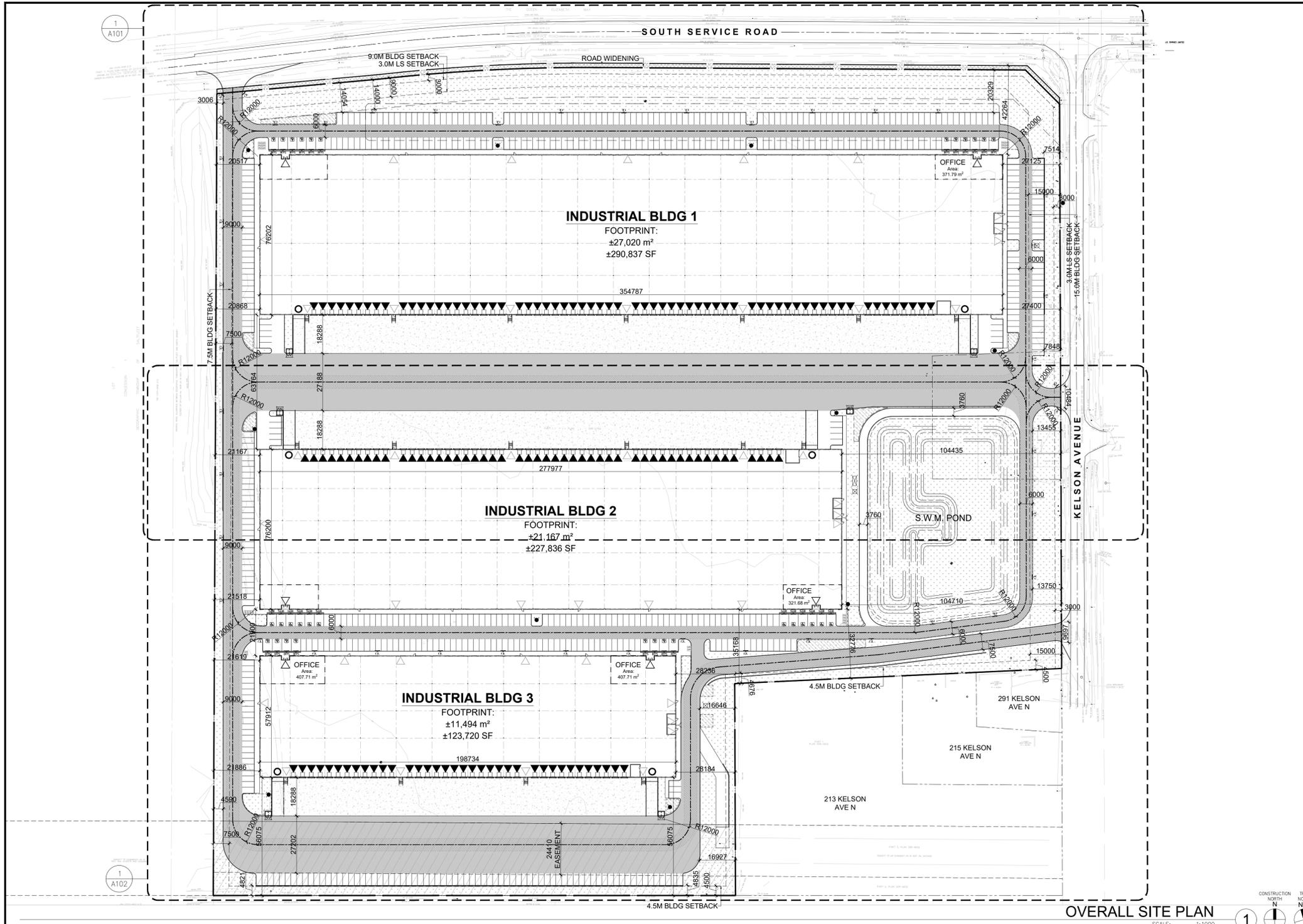
NORTH KELSON AVE
725 SOUTH SERVICE ROAD
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CANADA, L3M 4E8

MATRIX SCHEDULES table with columns: DATE, REMARKS, ISSUED FOR, and SCHEDULES.

PA/PM: H. BANAEI
DRAWN BY: O.T.
JOB NO.: TOR22-0096-00

SHEET
G020

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OVERALL SITE PLAN
SCALE: 1:1000

| TOR22-0096-00 NORTH KELSON AVE | | |
|--|-------------------------------|------------|
| SITE STATISTICS | | |
| ZONING | GE(H) | |
| GROSS SITE AREA | 142,258.00m ² | |
| Zone Permitted Use (Gimsby By-law Section 10.1) | | |
| Proposed Use | Warehouse | |
| Regulations (Section 10, Table 20) | | |
| | Proposed | Required |
| Min. Front Yard (Lot Frontage) | 268 m | 30 m |
| Min. Front Yard Building Setback (m) | 27.13 m | 15 m |
| Min. Interior Side Yard Building Set back (m) | 32.78 m | 4.5 m |
| Min. Rear Yard Building Setback (m) | 20.52 m | 7.5 m |
| Min. Landscape Front Yard Setback (m) | 7.71 m | 3 m |
| Min. Landscape Side Yard Setback (m) (Abuts an E Zone) | 4.82 m | 3 m |
| Min. Landscape Rear Yard Setback (m) (Abuts an E Zone) | 3.01 m | 3 m |
| Max. Lot Coverage | 41.95% | 50% |
| Max. Building Height | 13.76 m | N/A |
| Min. Exterior Side Yard Setback (m) | 32.80 m | 9.0 m |
| Min. Yard Abutting Residential Use | - | 28.35m |
| BUILDING FLOOR AREA | | |
| BUILDING 1 | | |
| Office Area | 743.58m ² | |
| Warehouse Area | 26,276.08m ² | |
| Total Area | 27,019.66m² | |
| BUILDING 2 | | |
| Office Area | 643.37m ² | |
| Warehouse Area | 20,523.32m ² | |
| Total Area | 21,166.68m² | |
| BUILDING 3 | | |
| Office Area | 815.43m ² | |
| Warehouse Area | 10,678.50m ² | |
| Total Area | 11,493.93m² | |
| TOTAL BUILDING GFA | 59,680.27m² | |
| PARKING REQUIREMENT | | |
| | PROPOSED | REQUIRED |
| TOTAL SITE PARKING SPACES | 637 | 628 |
| Accessible Parking (1 per 20 parking spaces) | 32 | 32 |
| Parking Stall Dimensions | 2.75 m X 5.75 m | |
| Accessible Parking Stall | 4.5 m X 5.75 m | |
| Bicycle Parking Space Dimensions | 1.8m X 0.6m | |
| No. Of Bicycle Parking (Warehouse: 7% Parking Spaces, Office 3 + 7% Office Spaces) | 48 | 44 |
| Loading Space Dimensions | 3.5m X 9.0m | |
| No. Of Loading Spaces (3 spaces plus 1 additional space for each 9,300 square metres of gross floor area or portion thereof) | 157 | 10 |
| DOCK STATISTICS | | |
| DOCK-HIGH DOORS | Proposed 151 | |
| OVER-HEAD DOORS | 6 | |

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P: 905.760.1221



NORTH KELSON AVE
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CANADA, L3M 4E8

GENERAL NOTES

- | | | |
|--|--|--|
| 1 PROPERTY LINE | 20 PROPOSED MECHANICAL ROOM | 40 DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %. |
| 1a EXISTING PROPERTY LINE (PRIOR TO ROAD WIDENING EASEMENT) | 21 CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010 - SEE CIVIL DWGS. | 41 WASTE COLLECTION BINS ENCLOSURE / PICKUP LOCATION |
| 2 2.75m x 5.75m PARKING STALL, PAINTED PARKING STRIPING PER GRIMSBY ZONING BY-LAW 14-45. | 22 1.8M WIDE PAINTED PEDESTRIAN PATHWAY | 42 NOISE BARRIER WALL, REFER TO CIVIL DWG. |
| 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT | 23 HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS. | 43 MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS |
| 4 TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER GRIMSBY ZONING BY-LAW 14-45. EACH STALL TO BE 4.5m WIDE BY 5.75m LONG WITH SIGNAGE (REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS). | 24 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD | 44 ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL |
| 5 150mm WIDE CURB TYPICAL | 25 ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. | |
| 6 MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O | 26 INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE | |
| 7 TRAILER PARKING STALL - 12'-0" X 55'-0" | 27 PROPOSED STOP SIGN AND/OR PAINTED STOP LINE LOCATION | |
| 8 ACCESSIBLE CURB RAMP AS PER DETAIL | 28 PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY | |
| 9 FIRE DEPARTMENT CONNECTION / SIAMSEW | 29 YELLOW PAINTED LINES | |
| 10 PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR EQUIVALENT AS APPROVED BY THE CLIENT ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON | 30 RETAINING WALL | |
| 11 LANDSCAPE AREA - SEE LANDSCAPE DWGS. | 31 PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS | |
| 12 PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS. | 32 PROPOSED FIRE ROUTE SIGN LOCATION | |
| 13 EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP. | 33 WASTE COLLECTION AREA / ROOM | |
| 14 TRUCK LOADING DOCK (TYPICAL) | 34 PROPOSED AMENITY AREA | |
| 15 LOADING SPACE - L.S. (MIN. 3.6m(W) X 9.0m(L) X 4.2m(H)) | 35 SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA | |
| 16 FIRE ACCESS ROUTE W/ 12M TURNING RADIUS (---) | 36 PROPOSED CHAIN-LINK FENCE | |
| 17 PROPOSED ELECTRICAL ROOM | 37 CONCRETE/STEEL SAFETY BOLLARD | |
| | 38 SCREEN WALL | |
| | 39 PROPOSED PYLON SIGNAGE | |

- GENERAL SITE NOTES:**
- REFER TO CIVIL DRAWINGS FOR GRADING AND SITE SERVICING INFORMATION.
 - GARBAGE WILL BE STORED INSIDE THE BUILDING
 - PERIMETER FENCING PROPOSED AT PROPERTY.
 - ANY ROOFTOP MECHANICAL UNITS SHALL BE SUBJECT TO FUTURE BUILDING PERMIT, AND SHALL BE LOCATED TO BE ADEQUATELY SCREENED TO MEET THE REQUIREMENTS OF THE CITY/TOWN'S BYLAWS.
 - ALL EXTERIOR LIGHTING AT PRINCIPLE ENTRY POINTS AND ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE AT A MINIMUM LIGHTING LEVEL OF 35 LUX. NO EXTERIOR LIGHT FIXTURES SHALL BE MORE THAN 19.0M ABOVE FINISHED GRADE.
 - EXISTING GRADES SHALL BE MATCHED AT PROPERTY LINES.

SITE LEGEND

- | | |
|--|--|
| NEW HEAVY DUTY PAVEMENT (HATCHED) | BARRIER FREE PARKING SIGN |
| LANDSCAPE AREA | BARRIER FREE PARKING SIGN WITH VAN TAB |
| DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C. | DRIVE-IN DOOR |
| FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS | NEW STOP SIGN |
| TRUCK LOADING DOCK DOOR | NEW FIRE ROUTE SIGN |
| KNOCK OUT PANEL | GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY |
| MAN DOOR ENTRY | LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS |
| EXIT DOOR LOCATION | LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS |
| FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS) | PROPOSED ELECTRIC VEHICLE CHARGING STATIONS |
| PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS) | PROPOSED E.V. READY PARKING SPACES |
| EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS) | |
| 1500mm WIDE DEPRESSIONED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL A41.2 | |
| PROPOSED CATCHBASIN | |
| MH DENOTES MANHOLE | |
| WHPHP EXISTING HYDRO POLE | |



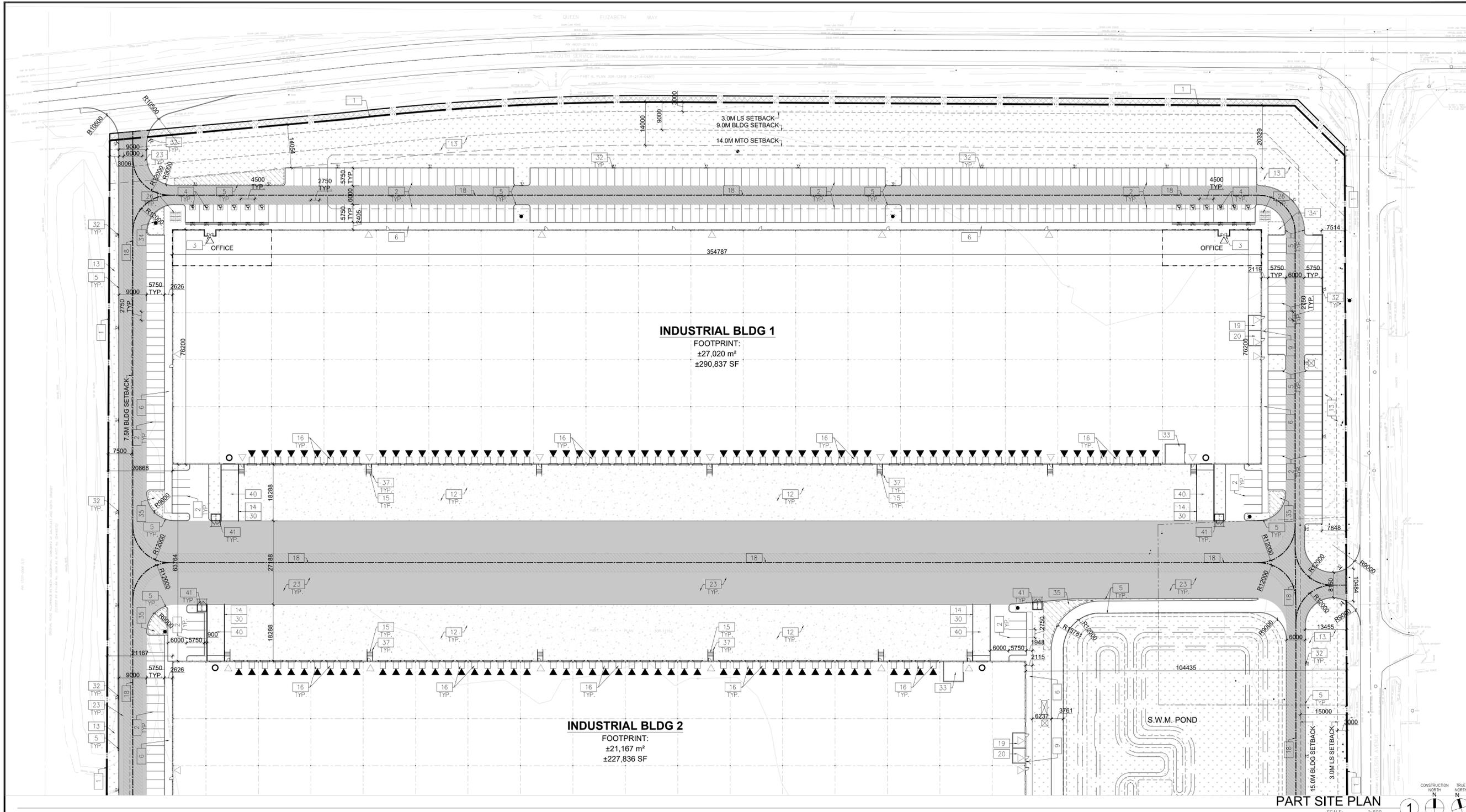
VICINITY MAP
SCALE: N.T.S.

OVERALL SITE PLAN

| DATE | ISSUED FOR SPA | REMARKS |
|------------|----------------|---------|
| 2023-12-15 | | |

| | |
|-----------|---------------|
| PA / PM: | HB |
| DRAWN BY: | J.S. |
| JOB NO.: | TOR22-0096-00 |

SHEET
A100



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221



NORTH KELSON AVE
725 SOUTH SERVICE ROAD
GRIMSBY, ONTARIO,
CANADA, L3M 4E8

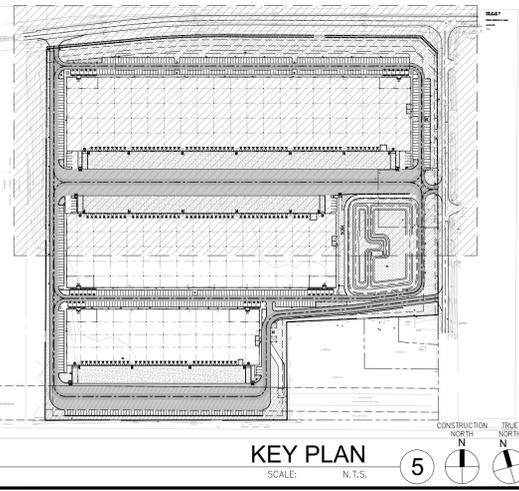
GENERAL NOTES

- | | | |
|--|--|---|
| 1 PROPERTY LINE | 20 PROPOSED MECHANICAL ROOM | 40 DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE % |
| 10 EXISTING PROPERTY LINE (PRIOR TO ROAD WIDENING EASEMENT) | 21 CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010 - SEE CIVIL DWGS. | 41 WASTE COLLECTION BINS ENCLOSURE / PICKUP LOCATION |
| 2 2.75m x 5.75m PARKING STALL, PAINTED PARKING STRIPING PER GRIMSBY ZONING BY-LAW 14-45. | 22 1.8M WIDE PAINTED PEDESTRIAN PATHWAY | 42 NOISE BARRIER WALL, REFER TO CIVIL DWG. |
| 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT | 23 HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS. | 43 MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS |
| 4 TYPICAL SHARED ACCESSIBLE PARKING STALLS. PAINTED PARKING STRIPING PER GRIMSBY ZONING BY-LAW 14-45. EACH STALL TO BE 4.5m WIDE BY 5.75m LONG WITH SIGNAGE (REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS). | 24 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD | 44 ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL |
| 5 150mm WIDE CURB TYPICAL | 25 ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. | |
| 6 MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O | 26 INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE | |
| 7 TRAILER PARKING STALL - 12'-0" X 55'-0" | 27 PROPOSED STOP SIGN AND/OR PAINTED STOP LINE LOCATION | |
| 8 ACCESSIBLE CURB RAMP AS PER DETAIL | 28 PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY | |
| 9 FIRE DEPARTMENT CONNECTION / SIAMSEW | 29 YELLOW PAINTED LINES | |
| 10 PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD | 30 RETAINING WALL | |
| 11 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR EQUIVALENT AS APPROVED BY THE CLIENT ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON | 31 PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS | |
| 12 LANDSCAPE AREA - SEE LANDSCAPE DWGS. | 32 PROPOSED FIRE ROUTE SIGN LOCATION | |
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| 15 EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP. | 34 PROPOSED AMENITY AREA | |
| 16 TRUCK LOADING DOCK (TYPICAL) | 35 SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA | |
| 17 LOADING SPACE - L.S. (MIN. 3.6m(W) X 9.0m(L) X 4.2m(H)) | 36 PROPOSED CHAIN-LINK FENCE | |
| 18 FIRE ACCESS ROUTE W/ 12M TURNING RADIUS (---) | 37 CONCRETE/STEEL SAFETY BOLLARD | |
| 19 PROPOSED ELECTRICAL ROOM | 38 SCREEN WALL | |
| | 39 PROPOSED PYLON SIGNAGE | |

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 - GARBAGE WILL BE STORED INSIDE THE BUILDING
 - PERIMETER FENCING PROPOSED AT PROPERTY.
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 - ALL EXTERIOR LIGHTING AT PRINCIPLE ENTRY POINTS AND ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE AT A MINIMUM LIGHTING LEVEL OF 35 LUX. NO EXTERIOR LIGHT FIXTURES SHALL BE MORE THAN 19.0M ABOVE FINISHED GRADE.
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SITE LEGEND

- | | |
|---|--|
| NEW HEAVY DUTY PAVEMENT (HATCHED) | PAINTED CARPOOL PARKING SPACE SYMBOL |
| LANDSCAPE AREA | BARRIER FREE PARKING SIGN |
| DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C. | BARRIER FREE PARKING SIGN WITH VAN TAB |
| FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS | DRIVE-IN DOOR |
| TRUCK LOADING DOCK DOOR | NEW STOP SIGN |
| KNOCK OUT PANEL | NEW FIRE ROUTE SIGN |
| MAN DOOR ENTRY | GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY |
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| FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS) | LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS |
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| 1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4A1.2 | |
| PROPOSED CATCHBASIN | |
| DENOTES MANHOLE | |
| EXISTING HYDRO POLE | |



OVERALL SITE PLAN

| DATE | ISSUED FOR | REMARKS |
|------------|----------------|---------|
| 2023-12-15 | ISSUED FOR SPA | |

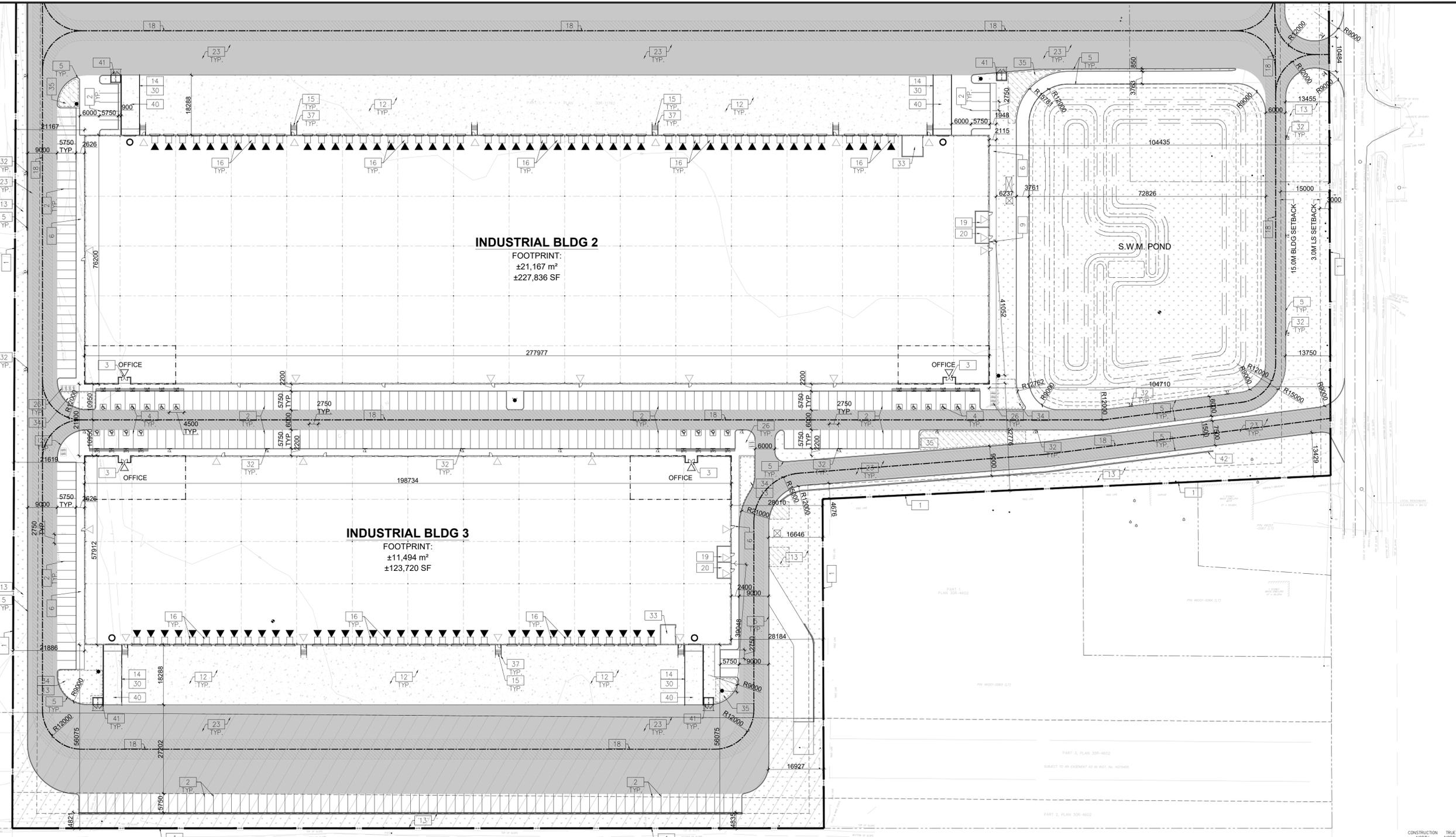
PA / PM: HB
DRAWN BY: J.S.
JOB NO.: TOR22-0096-00

SHEET
A101

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 GRIMSBY, ONTARIO,
 CANADA, L3M 4E8



PART SITE PLAN
 SCALE: 1:600

GENERAL NOTES

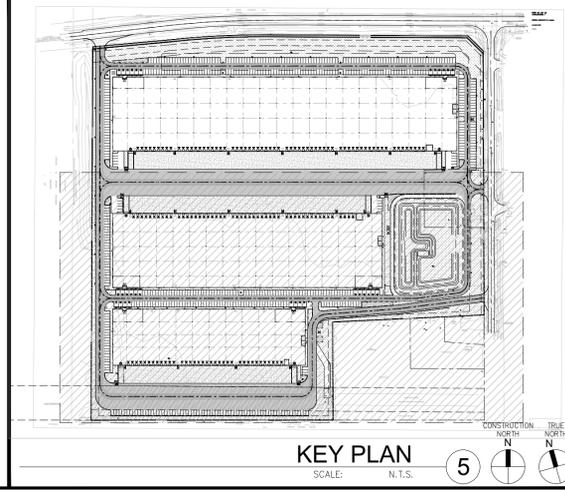
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| DENOTES MANHOLE | |
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KEY PLAN
 SCALE: 1:1.5

OVERALL SITE PLAN

| DATE | ISSUED FOR | REMARKS |
|------------|----------------|---------|
| 2023-12-15 | ISSUED FOR SPA | |

PA / PM: HB
 DRAWN BY: J.S.
 JOB NO.: TOR22-0096-00

A102

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NORTH KELSON AVE
 725 SOUTH SERVICE ROAD
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TYPICAL SITE DETAILS

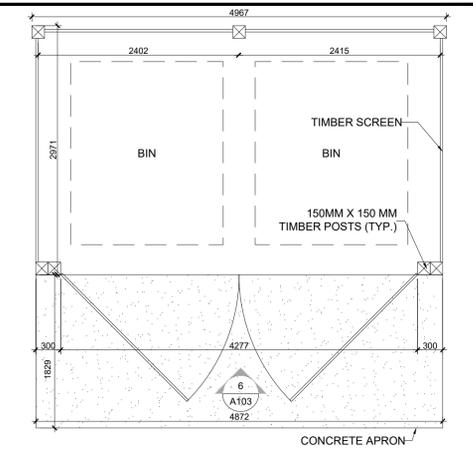
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| 2023-12-15 <td>ISSUED FOR SPA <td></td> </td> | ISSUED FOR SPA <td></td> | |
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PA / PM: HB
 DRAWN BY: JS
 JOB NO.: TOR22-0096-00

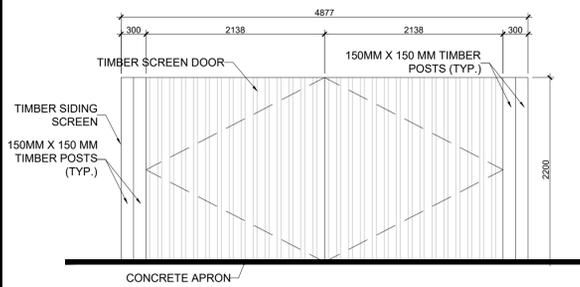
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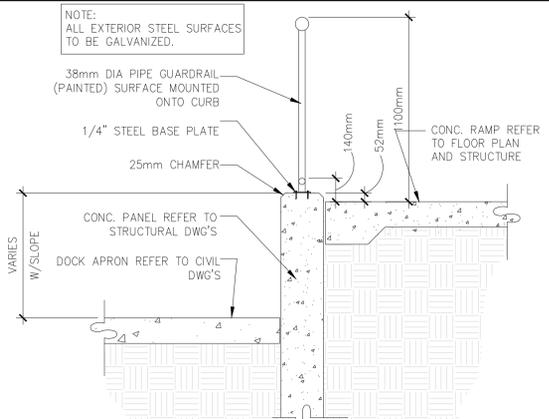
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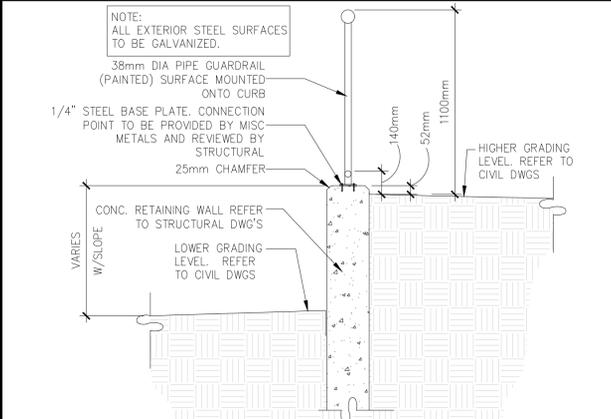
TIMBER GARBAGE ENCLOSURE
 SCALE: 1:40



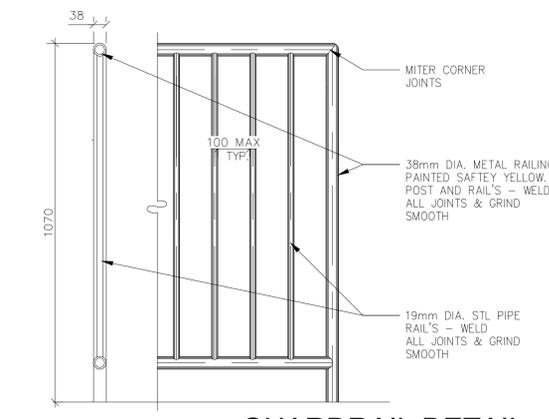
FRONT ELEV. GARBAGE ENCLOSURE
 SCALE: 1:40



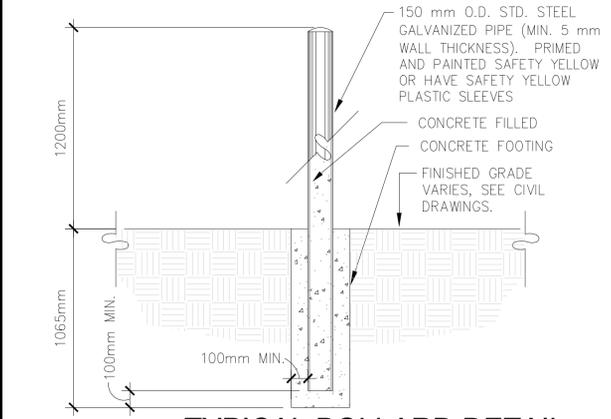
GUARDRAIL AT RAMP DETAIL
 SCALE: 1:20



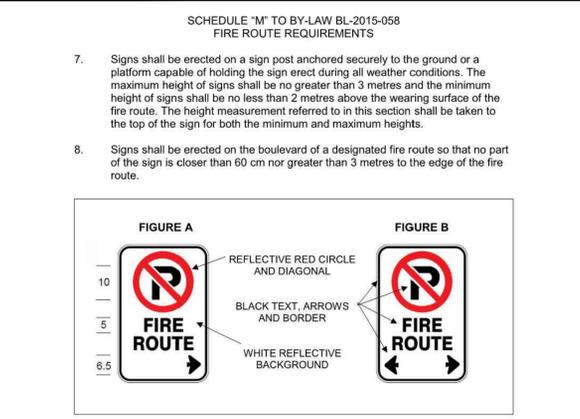
GUARDRAIL AT RETAINING WALL
 SCALE: 1:20



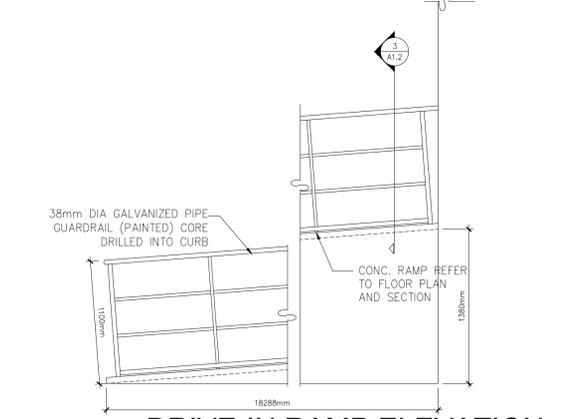
GUARDRAIL DETAIL
 SCALE: 1:10



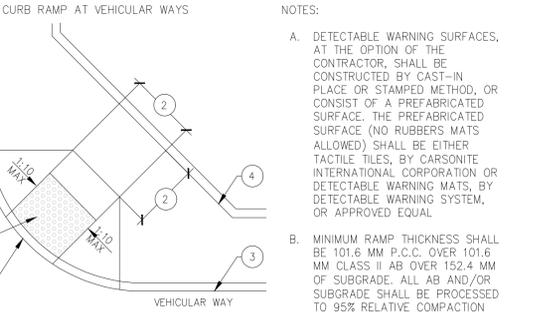
TYPICAL BOLLARD DETAIL
 SCALE: 1:20



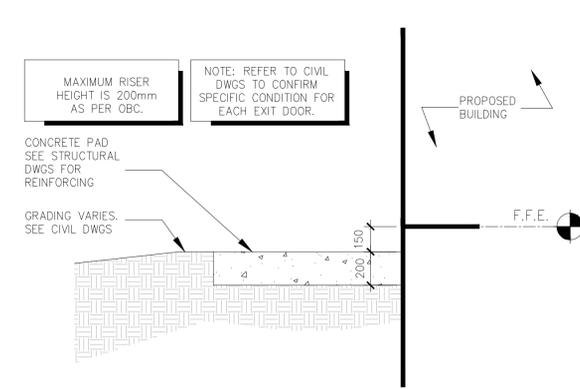
FIRE ROUTE SIGN
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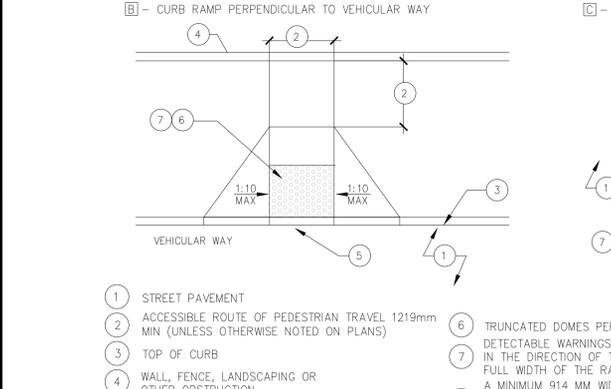
DRIVE-IN RAMP ELEVATION
 SCALE: 1:20



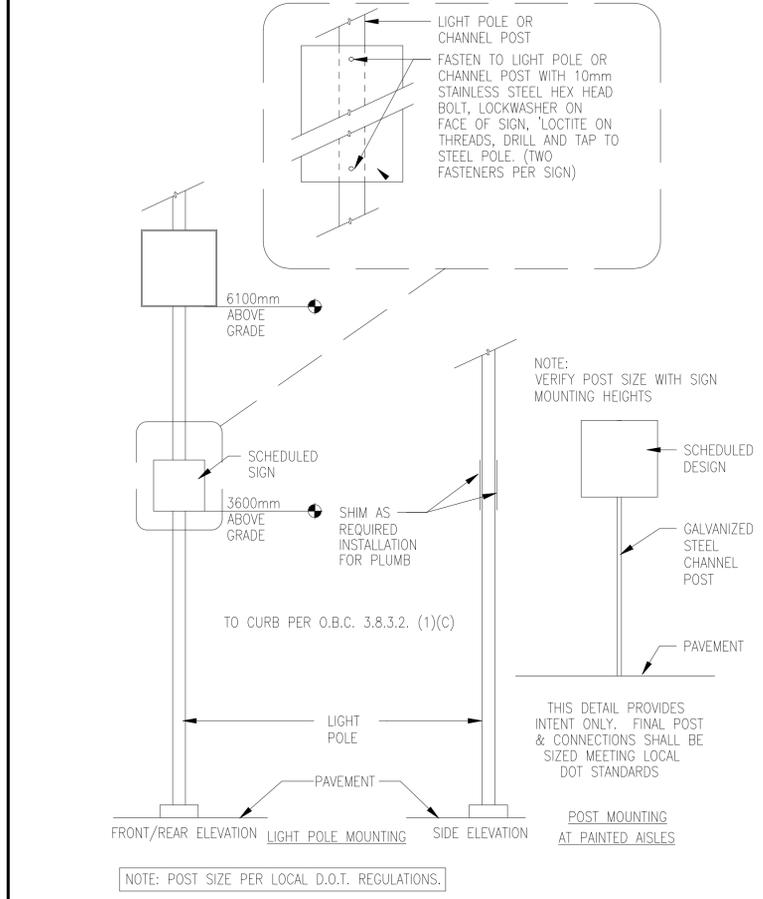
ACCESSIBLE CURB RAMP DETAIL
 SCALE: 1:20



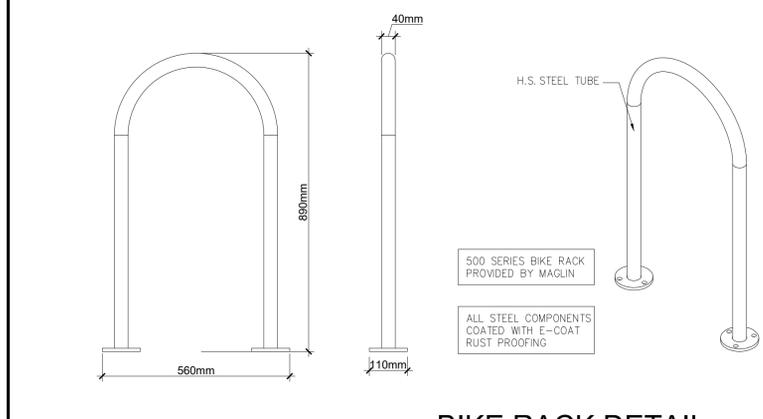
CONCRETE PAD FLUSH W/ GRADE
 SCALE: 1:20



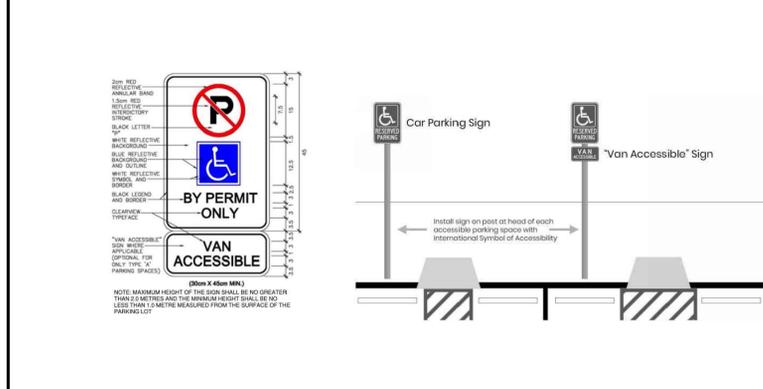
ACCESSIBLE CURB RAMP DETAIL
 SCALE: 1:20



PARKING LOT SIGN MOUNTING
 SCALE: 1:40

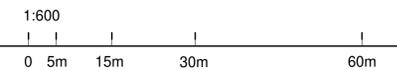
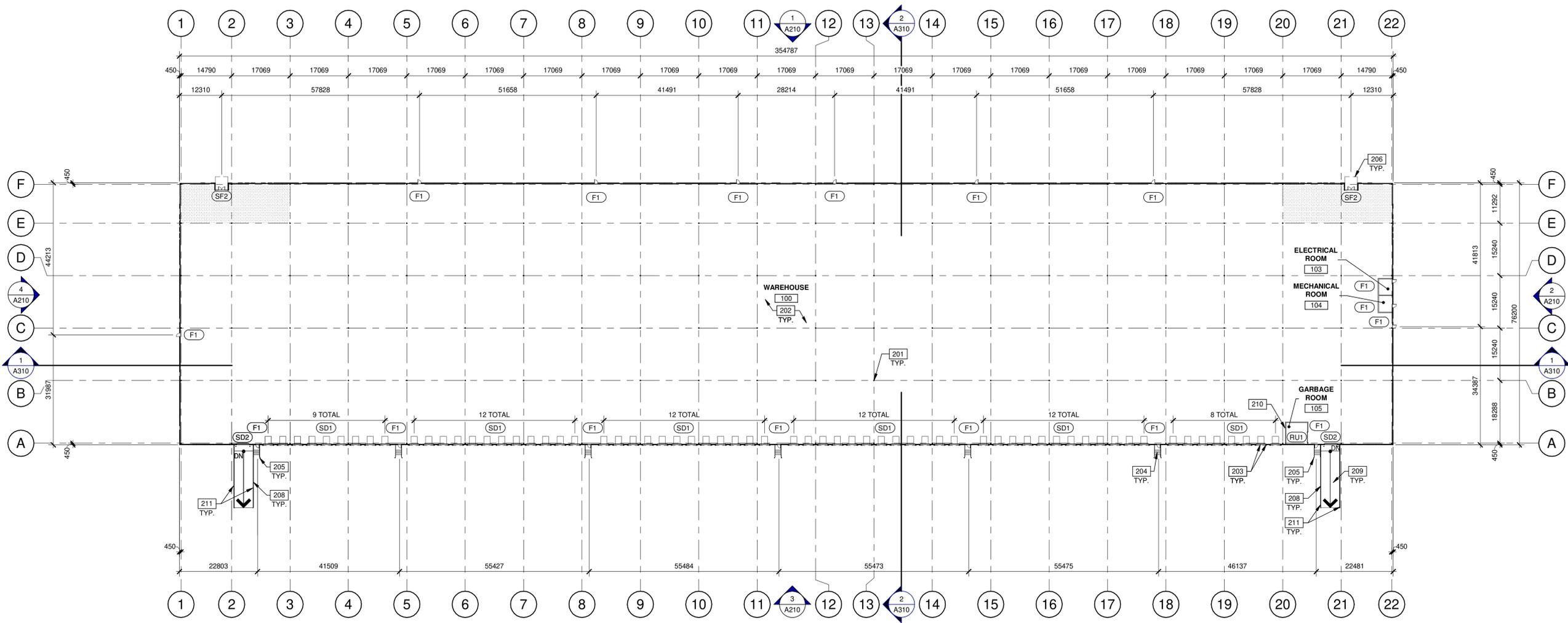


BIKE RACK DETAIL
 SCALE: 1:10



ACCESSIBLE PARKING CONCRETE PAD FLUSH W/ GRADE
 SCALE: N.T.S.

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BUILDING 1 - FLOOR PLAN
SCALE: 1 : 600

WARE MALCOMB
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CIVIL ENGINEERING
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INTERIORS
BUILDING MEASUREMENT

6220 Hwy 7, Suite 300
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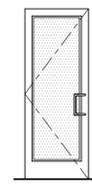
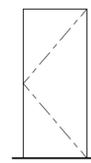


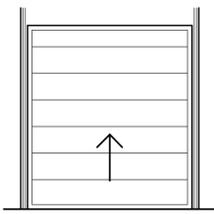
anatolia BEST MANAGED COMPANIES

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DOOR TYPES

| | | | |
|---|---|---|---|
| <p>(SF2) ALUMINUM STOREFRONT</p>  | <p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE) FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p> | <p>(F1) HOLLOW METAL</p>  | <p>(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p> |
|---|---|---|---|

| | |
|---|---|
| <p>(SD1) SECTIONAL O.H. DOOR</p>  | <p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH</p> <p>(RU1) 2745mm x 2440mm ROLL-UP DOOR W/ FACTORY PAINTED FINISH</p> <p>HARDWARE: 1 EA SLIDE BOLT 1 EA PAD LOCK</p> |
|---|---|

LEGEND

| | |
|--|--|
| | PROPOSED FUTURE OFFICE AREA |
| | ARCHITECTURAL PRECAST PANEL. |
| | RIBBED PRECAST INSULATED CONCRETE WALL PANEL SYSTEM (FLEXWALL) |
| | CONCRETE MASONRY WALL. |

KEYNOTES

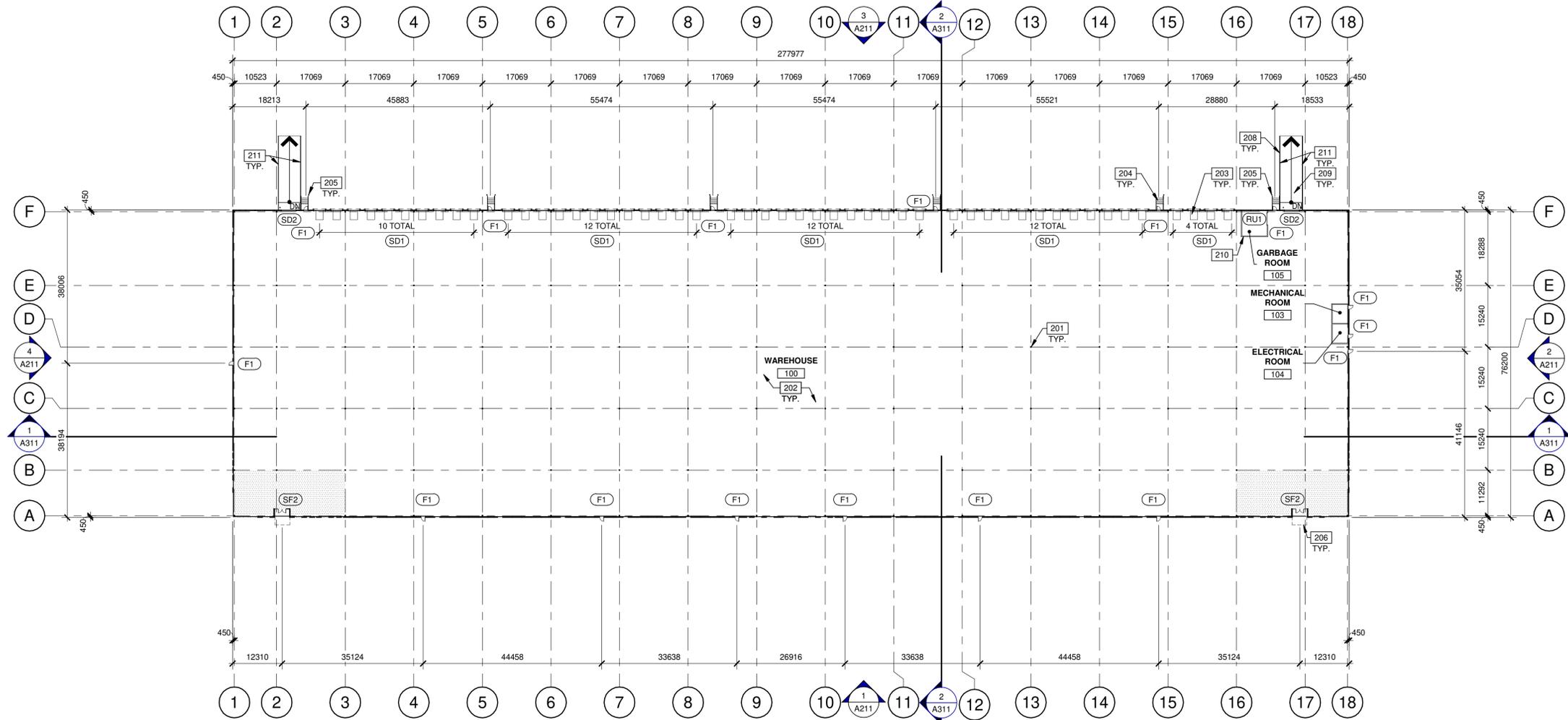
- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 OUTLINE OF CANOPY ABOVE.
- 208 CONCRETE RETAINING WALL.
- 209 CONCRETE RAMP.
- 210 GARBAGE ROOM AREA WITH CMU WALL, 4000mm HIGH.
- 211 GUARDRAIL.

BUILDING 1 - FLOOR PLAN

| DATE | ISSUED FOR | REMARKS |
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| 1 | 2023-12-15 | ISSUED FOR SFA |

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| PA/PM: | H. BANAEI |
| DRAWN BY.: | O.T. |
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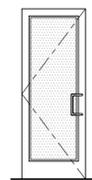
BUILDING 2 - FLOOR PLAN

SCALE: 1 : 600



DOOR TYPES

(SF2) ALUMINUM STOREFRONT

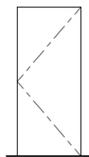


(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
 FRAME: MANUFACTURER

HARDWARE:
 2 SETS PIVOT SET
 2 SETS INTER PIVOT
 1 EA EXIT DEVICE
 1 EA MORTISE CYLINDER
 2 SETS OFFSET PULL
 2 EA OH CLOSER
 1 EA THRESHOLD
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

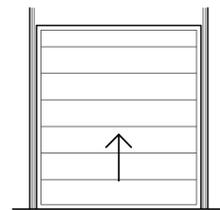
(F1) HOLLOW METAL



(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
 FRAME: PAINTED HOLLOW METAL

HARDWARE:
 3 EA HINGES
 1 EA EXIT DEVICE
 1 EA CYLINDER
 1 EA CLOSER
 1 EA PERIMETER SEAL
 1 EA BOTTOM DRIP
 1 EA THRESHOLD
 1 EA LOCK GUARD
 1 EA HVY DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR
 (SD2) SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH
 (RU1) ROLL-UP DOOR



(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3680mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

(RU1) 2745mm x 2440mm ROLL-UP DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
 1 EA SLIDE BOLT
 1 EA PAD LOCK

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL LEGEND

ARCHITECTURAL PRECAST PANEL.
 RIBBED PRECAST INSULATED CONCRETE WALL PANEL SYSTEM (FLEXWALL)
 CONCRETE MASONRY WALL.

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 206 OUTLINE OF CANOPY ABOVE.
- 208 CONCRETE RETAINING WALL.
- 209 CONCRETE RAMP.
- 210 GARBAGE ROOM AREA WITH CMU WALL, 4000mm HIGH.
- 211 GUARDRAIL.

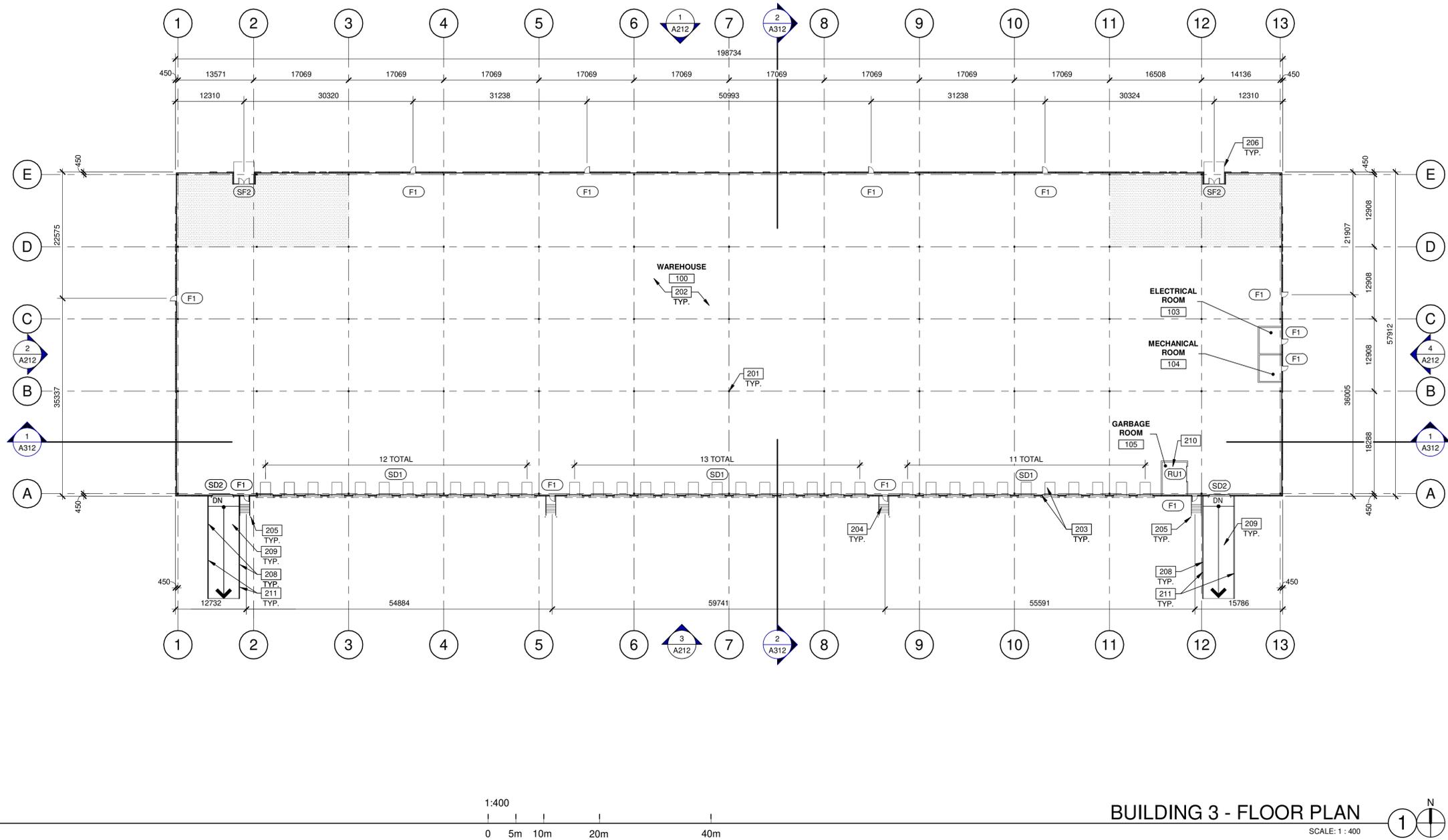
BUILDING 2 - FLOOR PLAN

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| 1 2023-12-15 | ISSUED FOR SFA | |

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| JOB NO.: | TOR22-0096-00 |

SHEET

A121



BUILDING 3 - FLOOR PLAN
SCALE: 1 : 400

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CANADA, L3M 4E8

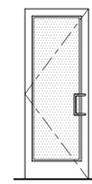
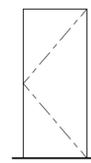
BUILDING 3 - FLOOR PLAN

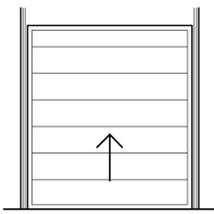
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A122

DOOR TYPES

| | | | |
|---|---|---|---|
| <p>(SF2) ALUMINUM STOREFRONT</p>  | <p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE) FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p> | <p>(F1) HOLLOW METAL</p>  | <p>(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p> |
|---|---|---|---|

| | |
|---|---|
| <p>(SD1) SECTIONAL O.H. DOOR</p>  | <p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3680mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH</p> <p>(RU1) 2745mm x 2440mm ROLL-UP DOOR W/ FACTORY PAINTED FINISH</p> <p>HARDWARE: 1 EA SLIDE BOLT 1 EA PAD LOCK</p> |
|---|---|

LEGEND

| | |
|--|--|
| | PROPOSED FUTURE OFFICE AREA |
| | ARCHITECTURAL PRECAST PANEL. |
| | RIBBED PRECAST INSULATED CONCRETE WALL PANEL SYSTEM (FLEXWALL) |
| | CONCRETE MASONRY WALL. |

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
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- 210 GARBAGE ROOM AREA WITH CMU WALL, 4000mm HIGH.
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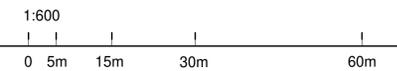
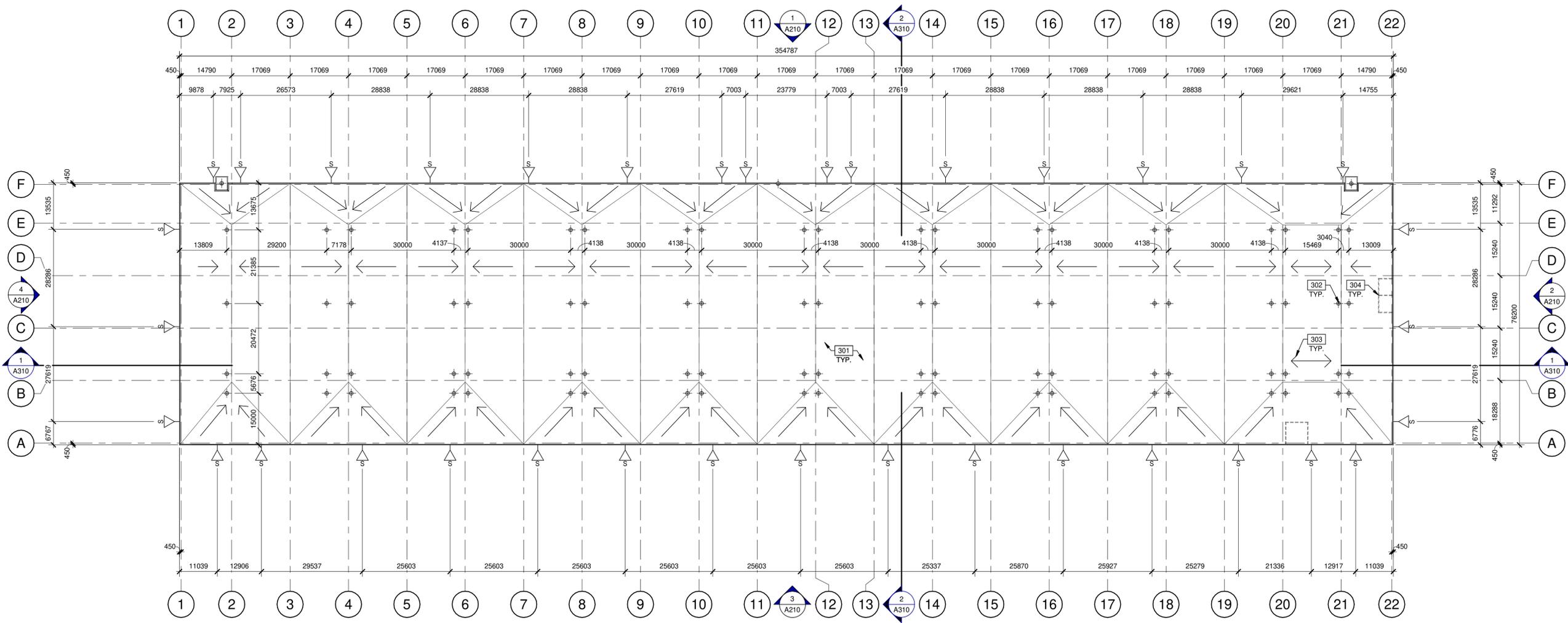
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 GRIMSBY, ONTARIO,
 CANADA, L3M 4E8



BUILDING 1 - ROOF PLAN
 SCALE: 1 : 600

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

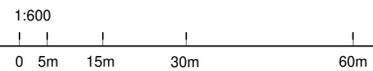
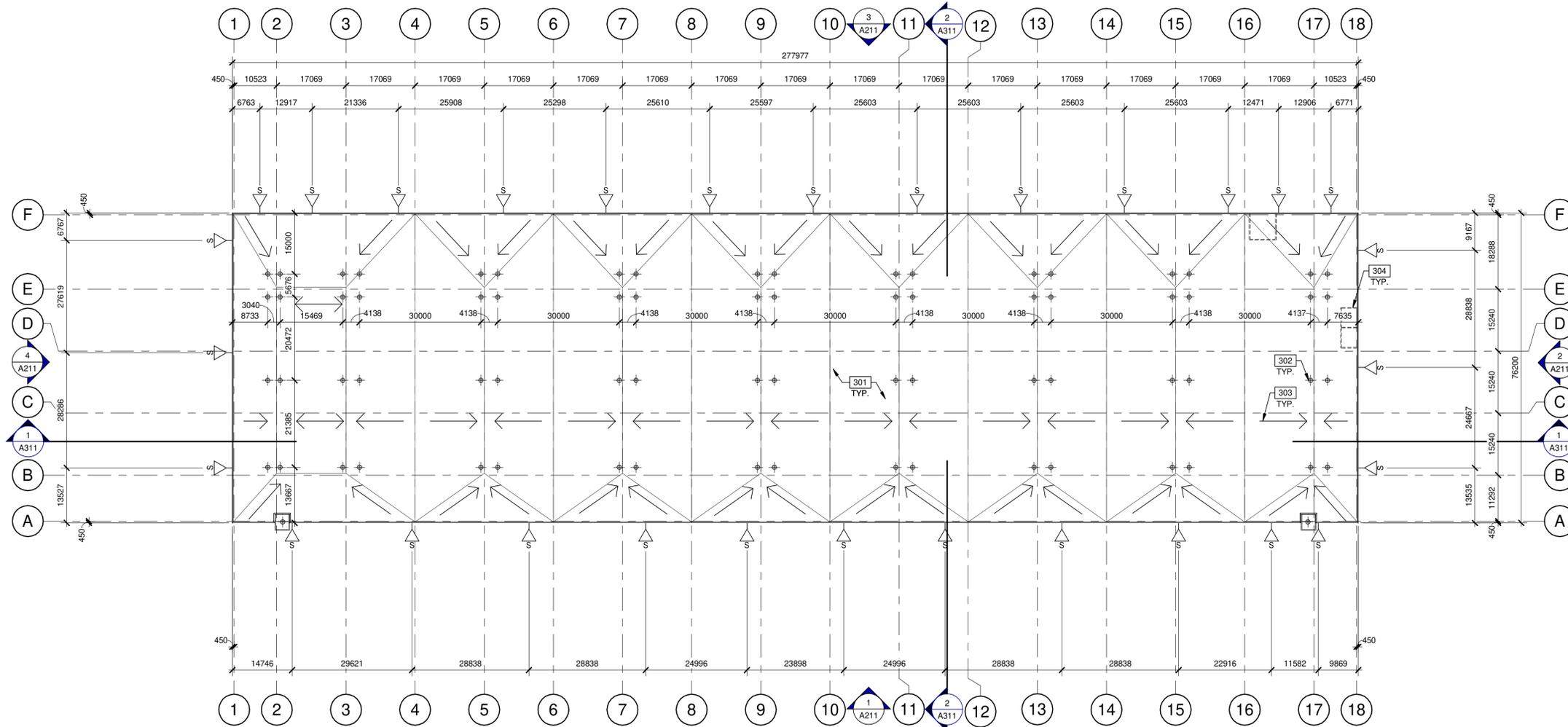
- 301 60 MIL TPO ROOFING SYSTEM- MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS, REFER TO MECHANICAL DRAWINGS.
- 303 FLOW LINE DRAIN.
- 304 LINE OF WALL BELOW.

BUILDING 1 - ROOF PLAN

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A190



BUILDING 2 - ROOF PLAN

SCALE: 1 : 600



LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 60 MIL TPO ROOFING SYSTEM - MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS, REFER TO MECHANICAL DRAWINGS.
- 303 FLOW LINE DRAIN.
- 304 LINE OF WALL BELOW.

BUILDING 2 - ROOF PLAN

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A191

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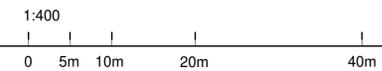
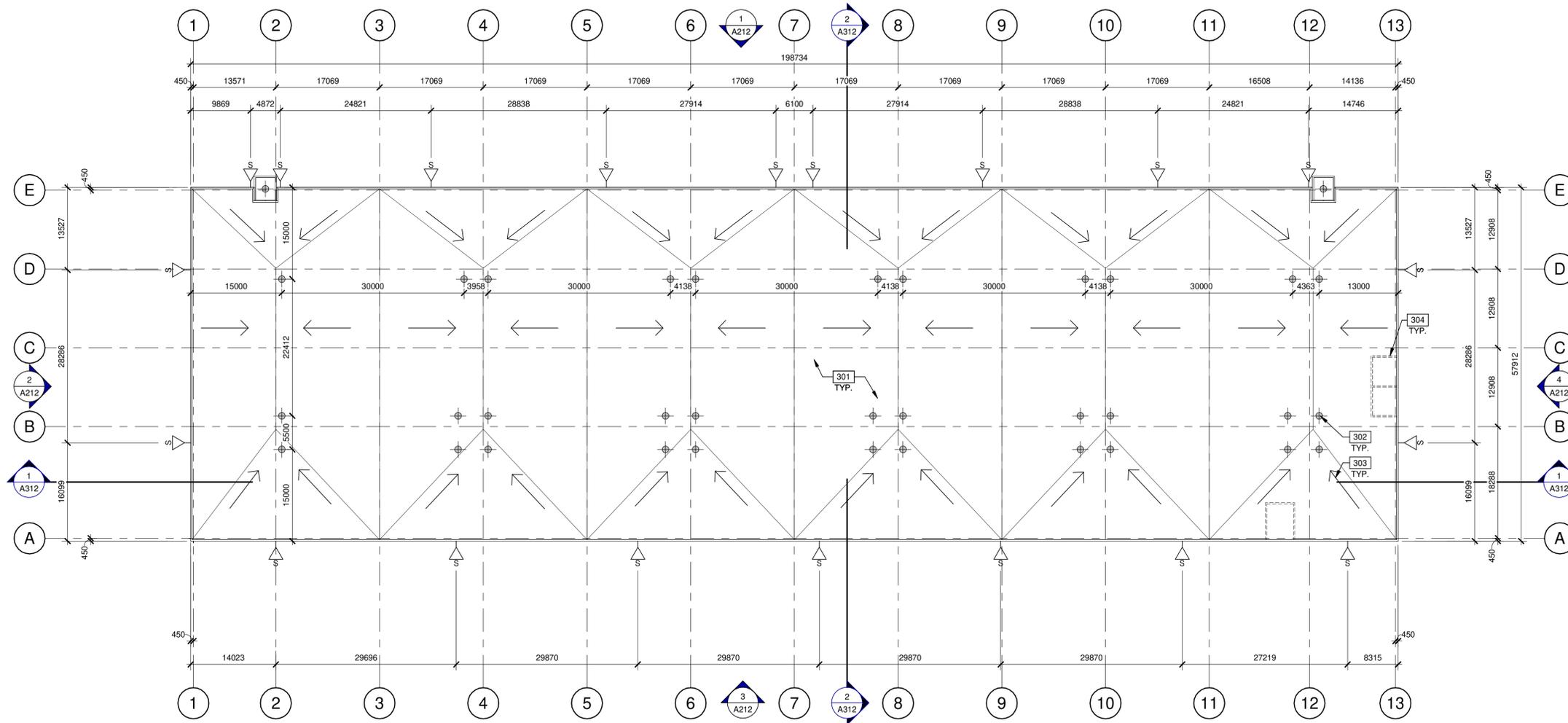
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ONTARIO ASSOCIATION
 OF ARCHITECTS

Xia Rocha
 ANA CATALINA ROCHA
 LICENCE 7286

anatolia

NORTH KELSON AVE
 725 SOUTH SERVICE ROAD
 GRIMSBY, ONTARIO,
 CANADA, L3M 4E8



BUILDING 3 - ROOF PLAN
SCALE: 1 : 400

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 60 MIL TPO ROOFING SYSTEM - MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS, REFER TO MECHANICAL DRAWINGS.
- 303 FLOW LINE DRAIN.
- 304 LINE OF WALL BELOW.

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NORTH KELSON AVE
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CANADA, L3M 4E8

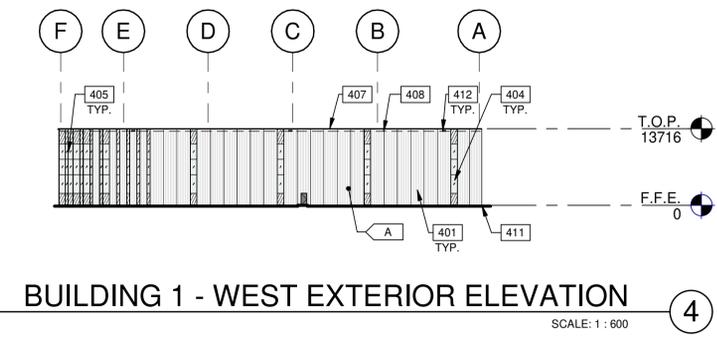
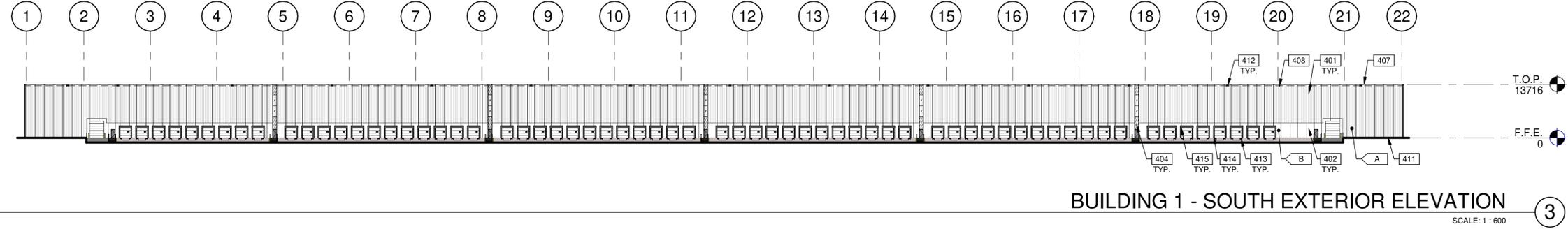
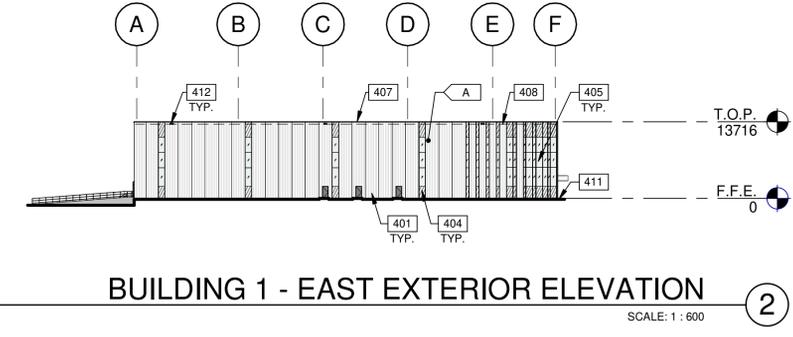
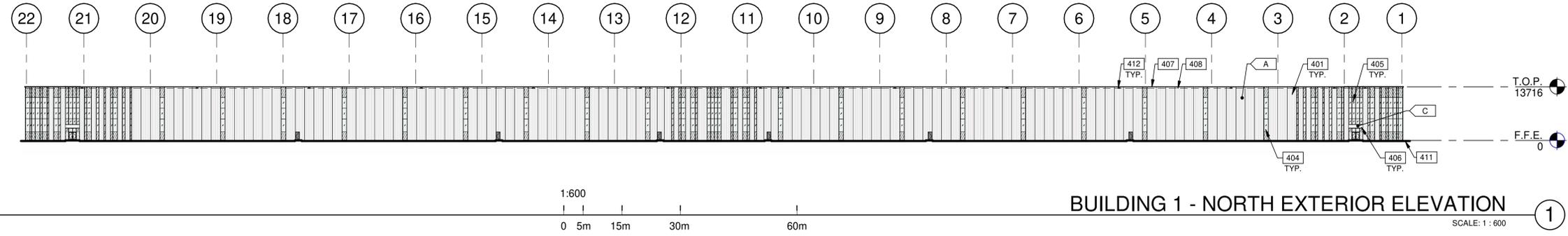
BUILDING 3 - ROOF PLAN

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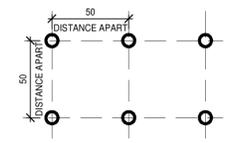
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LEGENDS

- GLASS:**
- VISION GLASS + BIRD FRIENDLY FRIT PATTERN VITRO - OPTIGRAY
 - TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN VITRO - OPTIGRAY
 - SPANDREL GLAS + BIRD FRIENDLY FRIT PATTERN VITRO - OPTIGRAY



- COLOURS:**
- PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOUR: CUSTOM RIBBED PRECAST CONCRETE PANEL WHITE.
 - SECONDARY COLOUR: FLAT PRECAST PANEL WHITE.
 - ACCENT COLOUR: ALUMINUM COMPOSITE METAL PANEL ALPOLIC - HWH WHITE.
 - ACCENT COLOUR: GLAZED PORCELAIN TILE ANATOLIA TILE - MAYFAIR VOLAKAS GRIGIO.

KEYNOTES

- 401 CUSTOM RIBBED PRECAST CONCRETE PANEL, WHITE, 2400MM WIDE.
- 402 FLAT PRECAST CONCRETE PANEL.
- 404 CLERESTORY WINDOW.
- 405 CURTAIN WALL GLAZING SYSTEM, CLEAR ANODIZED.
- 406 CANOPY WITH ALUMINUM COMPOSITE PANEL FASCIA AND METAL SOFFIT.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 ROOF LINE BEYOND.
- 411 GRADELINE VARIES.
- 412 OVERFLOW SCUPPER.
- 413 DOCK BUMPER.
- 414 DOCK SEAL.
- 415 DOCK SHELTER.

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BUILDING 1 - EXTERIOR ELEVATIONS

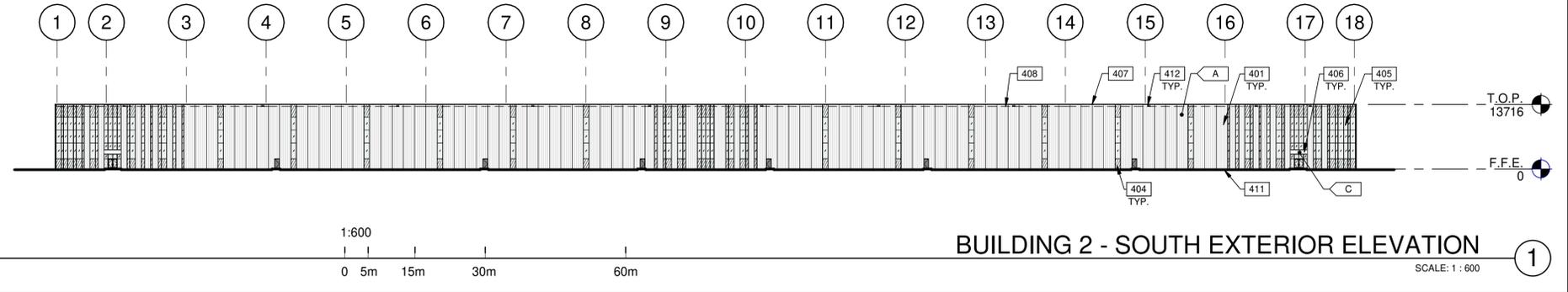
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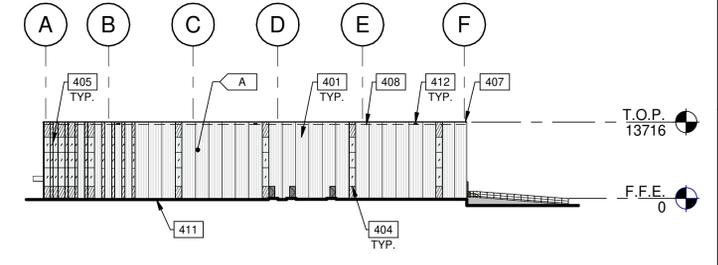
SHEET

A210

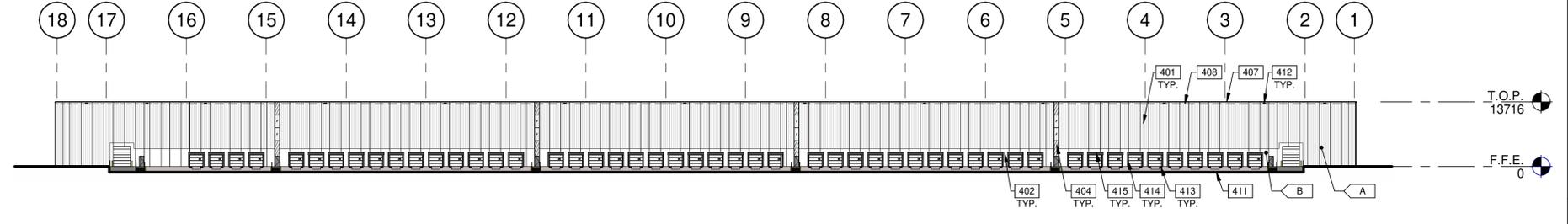
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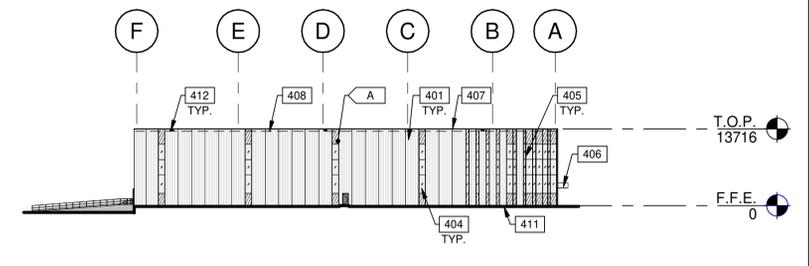
BUILDING 2 - SOUTH EXTERIOR ELEVATION ①
SCALE: 1 : 600



BUILDING 2 - EAST EXTERIOR ELEVATION ②
SCALE: 1 : 600



BUILDING 2 - NORTH EXTERIOR ELEVATION ③
SCALE: 1 : 600



BUILDING 2 - WEST EXTERIOR ELEVATION ④
SCALE: 1 : 600

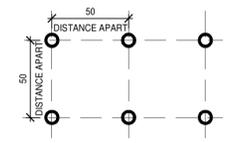
LEGENDS

- GLASS:**
-  VISION GLASS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY
 -  TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY
 -  SPANDREL GLAS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY

- COLOURS:**
- PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
-  **A** BASE COLOUR: CUSTOM RIBBED PRECAST CONCRETE PANEL WHITE.
 -  **B** SECONDARY COLOUR: FLAT PRECAST PANEL WHITE.
 -  **C** ACCENT COLOUR: ALUMINUM COMPOSITE METAL PANEL ALPOLIC - HWH WHITE.
 -  **D** ACCENT COLOUR: GLAZED PORCELAIN TILE ANATOLIA TILE - MAYFAIR VOLAKAS GRIGIO.

KEYNOTES

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- 411 GRADELINE VARIES.
- 412 OVERFLOW SCUPPER.
- 413 DOCK BUMPER.
- 414 DOCK SEAL.
- 415 DOCK SHELTER.



BIRD FRIENDLY VISUAL MARKER SPACING DETAIL

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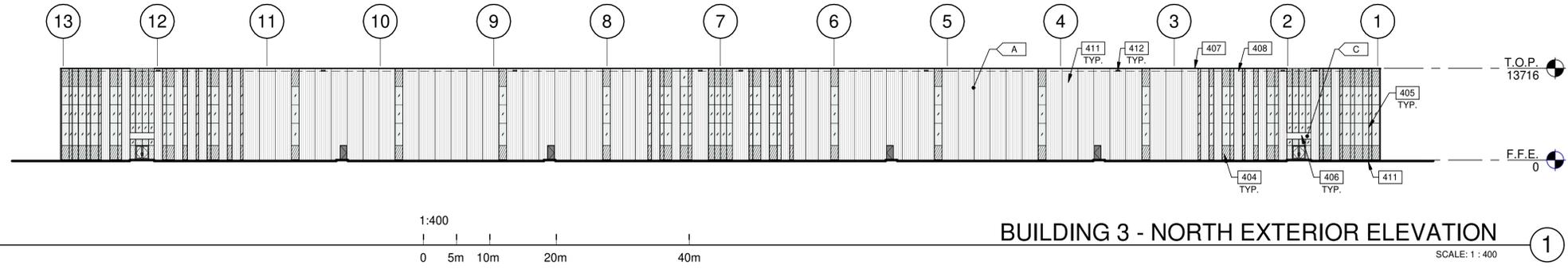
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| BUILDING 2 - EXTERIOR ELEVATIONS | | REMARKS |
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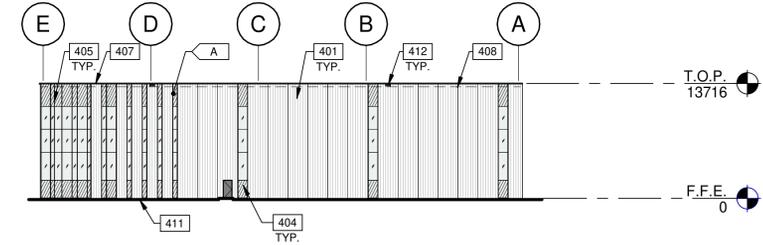
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| JOB NO.: | TOR22-0096-00 |

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A211

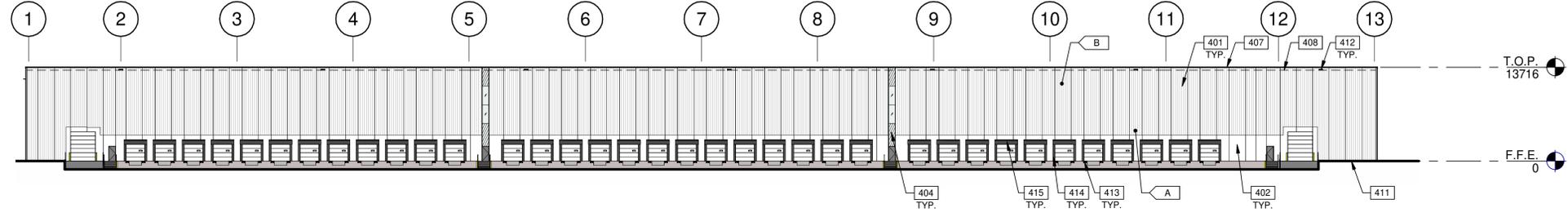
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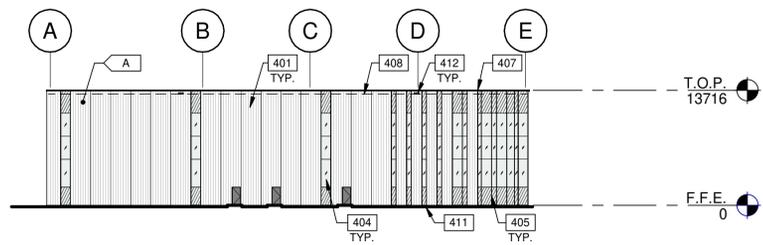
BUILDING 3 - NORTH EXTERIOR ELEVATION ①
SCALE: 1 : 400



BUILDING 3 - WEST EXTERIOR ELEVATION ②
SCALE: 1 : 400



BUILDING 3 - SOUTH EXTERIOR ELEVATION ③
SCALE: 1 : 400



BUILDING 3 - EAST EXTERIOR ELEVATION ④
SCALE: 1 : 400

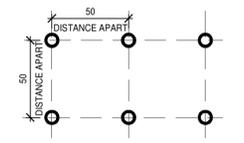
LEGENDS

- GLASS:**
- VISION GLASS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY
 - TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY
 - SPANDREL GLAS + BIRD FRIENDLY FRIT PATTERN
VITRO - OPTIGRAY

- COLOURS:**
- PROVIDE 1,828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A** BASE COLOUR: CUSTOM RIBBED PRECAST CONCRETE PANEL WHITE.
 - B** SECONDARY COLOUR: FLAT PRECAST PANEL WHITE.
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KEYNOTES

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BIRD FRIENDLY VISUAL MARKER SPACING DETAIL

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Vaughan, Ontario L4H 0R1, Canada
P 905.650.4696



anatolia BEST MANAGED COMPANIES

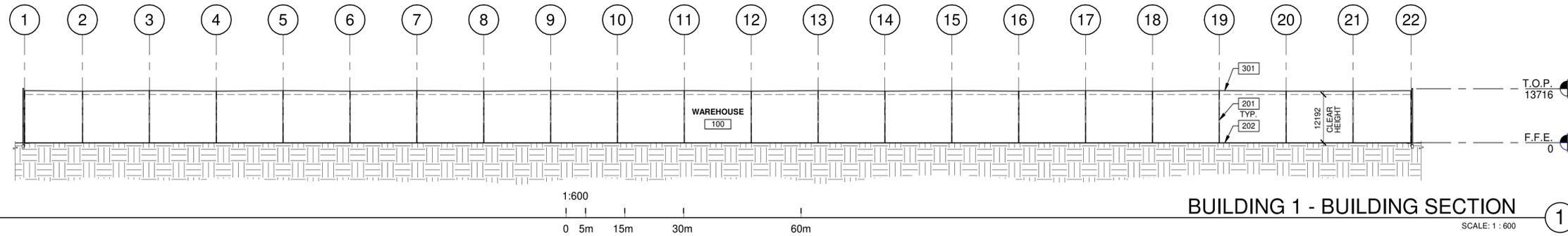
NORTH KELSON AVE
725 SOUTH SERVICE ROAD
GRIMSBY, ONTARIO,
CANADA, L3M 4E8

| BUILDING 3 - EXTERIOR ELEVATIONS | | REMARKS |
|----------------------------------|------------|----------------|
| DATE | 2023-12-15 | ISSUED FOR SPA |
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SHEET
A212

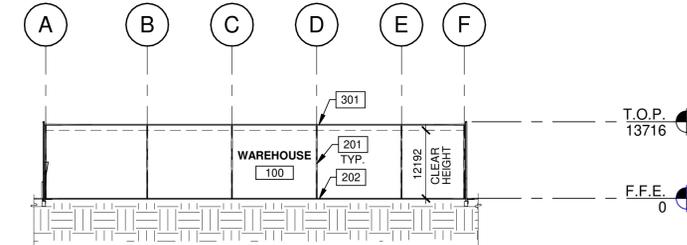
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BUILDING 1 - BUILDING SECTION

SCALE: 1 : 600

1



BUILDING 1 - BUILDING SECTION

SCALE: 1 : 600

2

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 60 MIL TPO ROOFING SYSTEM- MECHANICALLY FASTENED & REINFORCED.

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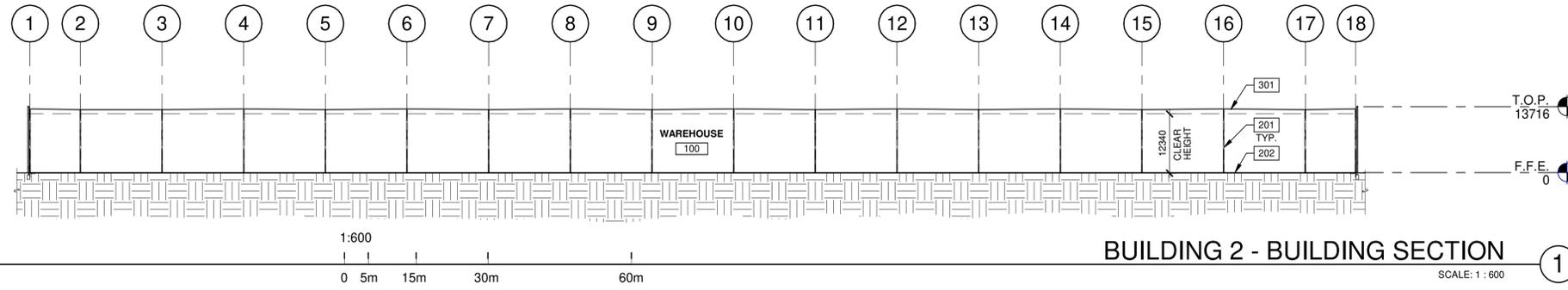
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| BUILDING 1 - BUILDING SECTIONS | | REMARKS |
|--------------------------------|------------|----------------|
| DATE | ISSUED FOR | |
| 1 | 2022-12-15 | ISSUED FOR SPA |
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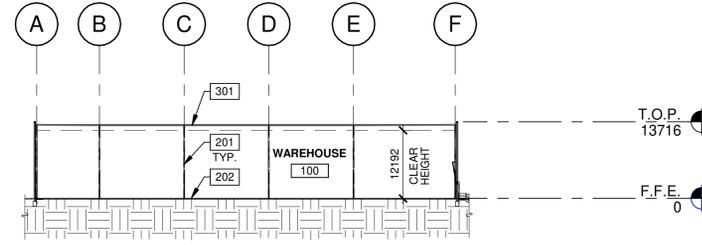
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A310

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BUILDING 2 - BUILDING SECTION ①
SCALE: 1 : 600



BUILDING 2 - BUILDING SECTION ②
SCALE: 1 : 600

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 60 MIL TPO ROOFING SYSTEM- MECHANICALLY FASTENED & REINFORCED.

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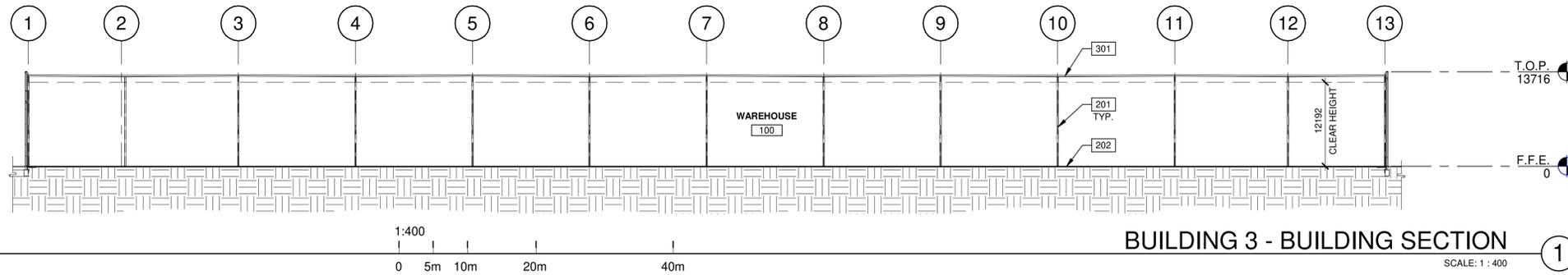


NORTH KELSON AVE
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| BUILDING 2 - BUILDING SECTIONS | | REMARKS |
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| DATE | ISSUED FOR | |
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| JOB NO.: | TOR22-0096-00 |

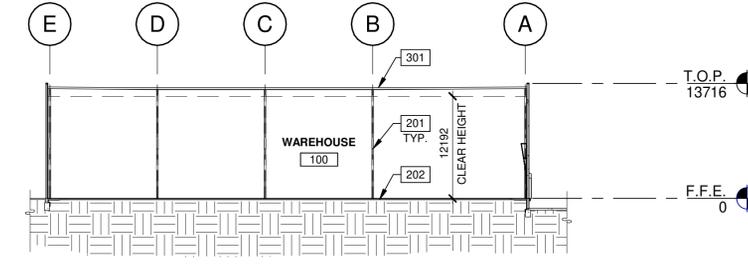
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A311



BUILDING 3 - BUILDING SECTION

SCALE: 1 : 400

1



BUILDING 3 - BUILDING SECTION

SCALE: 1 : 400

2

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 60 MIL TPO ROOFING SYSTEM- MECHANICALLY FASTENED & REINFORCED.



NORTH KELSON AVE
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| BUILDING 3 - BUILDING SECTIONS | | REMARKS |
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