

LEGAL DESCRIPTION:
 PLAN OF SURVEY OF
 PART OF LOT 1
 CONCESSION 6
 (GEOGRAPHIC TOWNSHIP
 OF ALBION, COUNTY OF
 PEELE)
 TOWN OF CALEDON
 REGIONAL MUNICIPALITY
 OF PEELE

OWNER:
 ANATOLIA CAPITAL CORP.
 8300 HUNTINGTON ROAD,
 VAUGHAN, ON L4L 1A5

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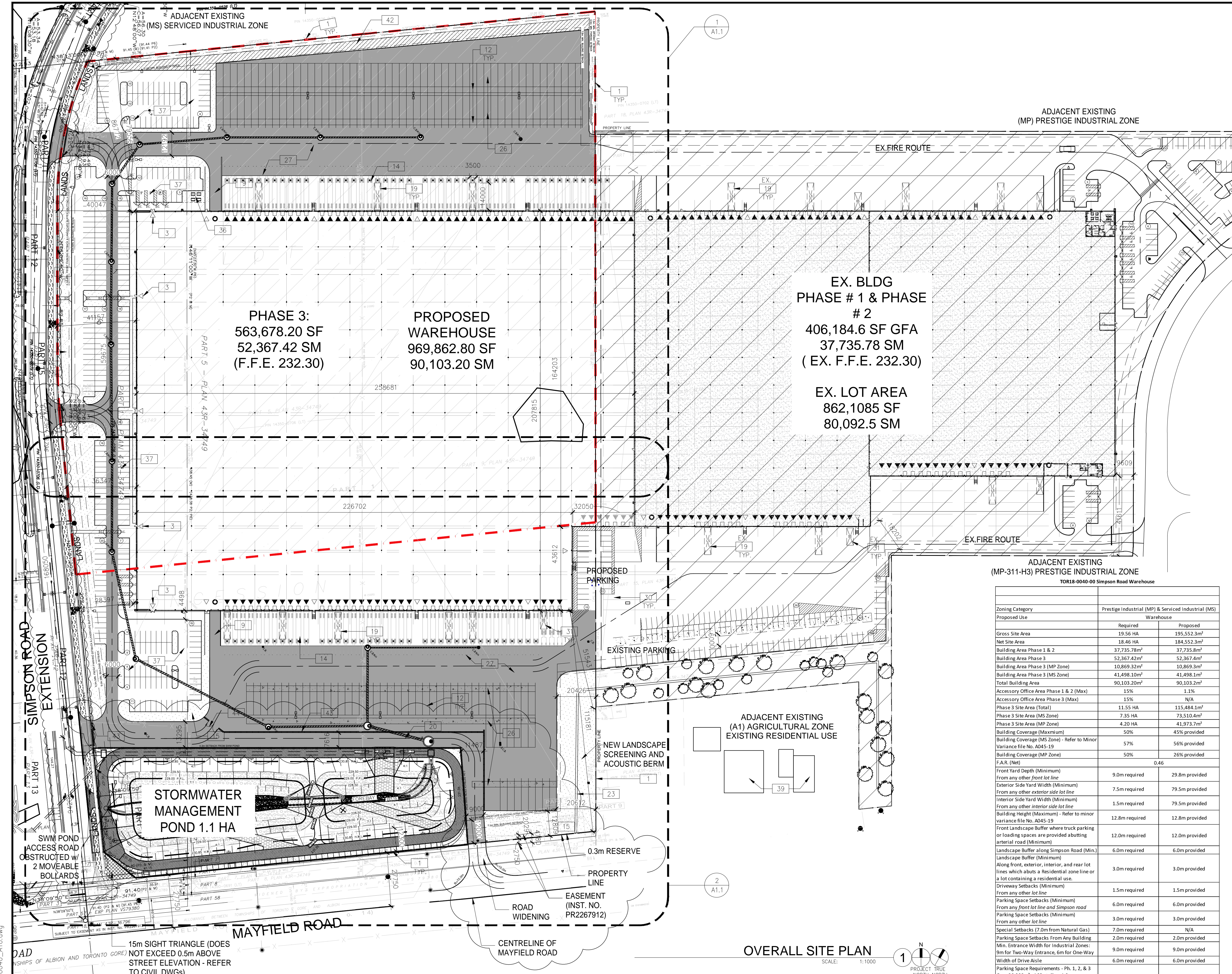
ANATOLIA TILE & STONE
PH3 PILLSWORTH INDUSTRIAL
 100 PILLSWORTH ROAD
 BOLTON, ONTARIO, CANADA

OVERALL SITE PLAN

DATE	REVISIONS
16/05/2020	REVISED AS PER TOWN COMMENTS
17/06/2020	ISSUED FOR CONDITIONAL PERMIT
19/06/2020	ISSUED FOR PTA #2
20/07/2020	ISSUED FOR SPA
21/08/2020	ISSUED FOR CONSTRUCTION
22/10/2020	ISS. FOR PRE-SERVICING PERMIT
23/12/2020	ISS. FOR INTERIM SPA
	REC- ISSUED FOR INTERIM SPA

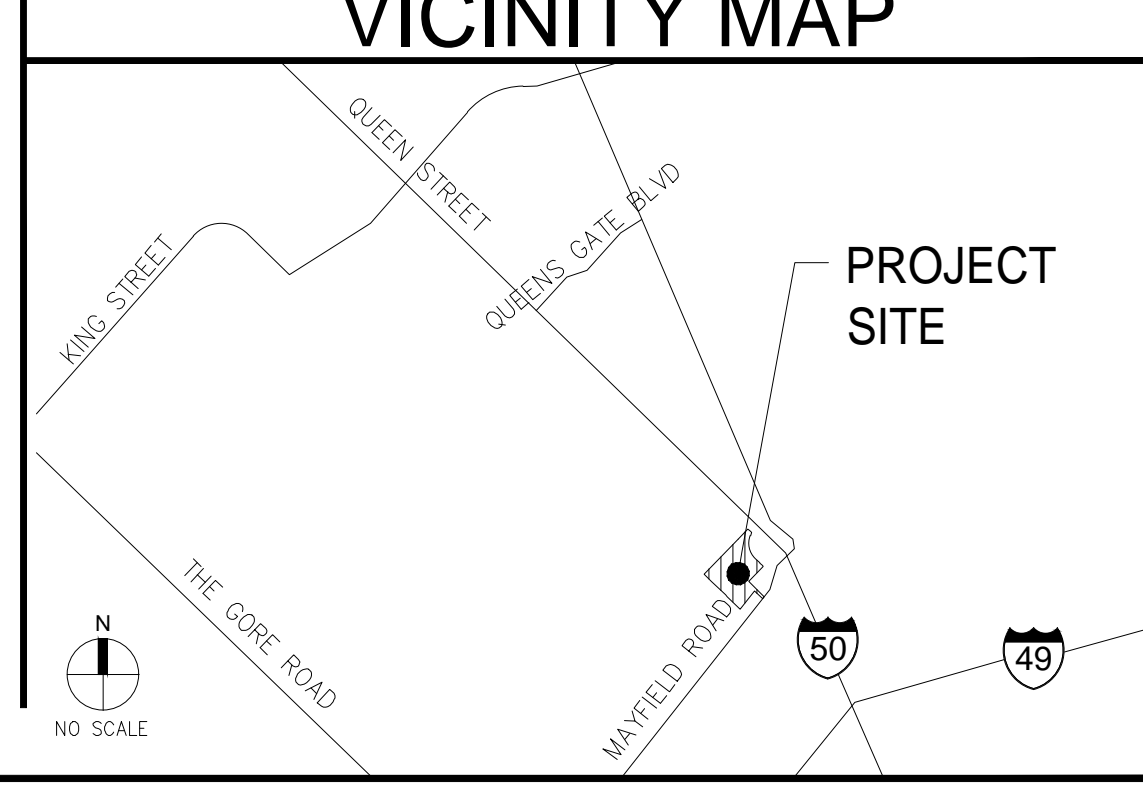
PA / PM: AR
 DRAWN BY: S.D.
 JOB NO.: TOR18-0040-00

SHEET
A1.0
 SPA FILE NO.: SPA 19-13

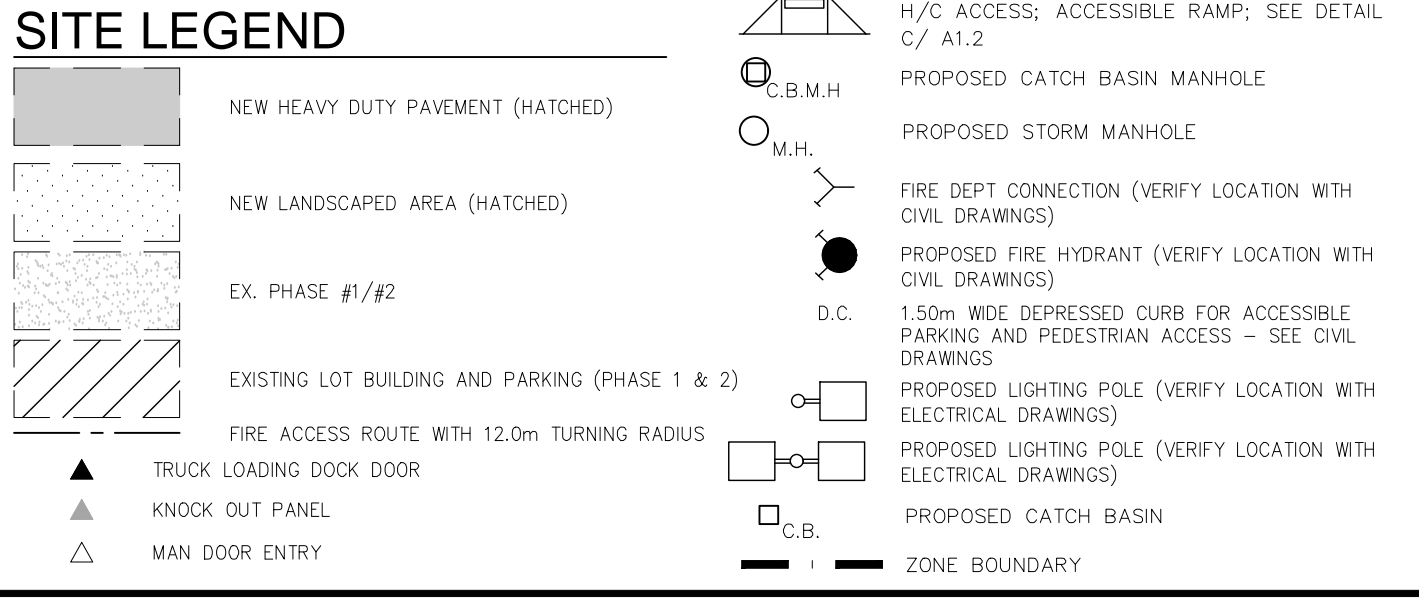


Zoning Category	Prestige Industrial (MP) & Serviced Industrial (MS)	
	Required	Proposed
Gross Site Area	19,556.24m ²	19,552.3m ²
Net Site Area	18,46 HA	18,452.3m ²
Building Area Phase 1 & 2	37,735.78m ²	37,735.8m ²
Building Area Phase 3	52,367.42m ²	52,367.4m ²
Building Area Phase 3 (MP Zone)	10,869.32m ²	10,869.3m ²
Building Area Phase 3 (MS Zone)	41,498.10m ²	41,498.1m ²
Total Building Area	90,103.20m ²	90,103.2m ²
Accessory Office Area Phase 1 & 2 (Max)	15%	1.1%
Accessory Office Area Phase 3 (Max)	15%	N/A
Phase 3 Site Area (Total)	11,55 HA	11,548.1m ²
Phase 3 Site Area (MS Zone)	7.35 HA	73,510.4m ²
Phase 3 Site Area (MP Zone)	4.20 HA	41,973.7m ²
Building Coverage (Maximum)	50%	45% provided
Building Coverage (MS Zone) - Refer to Minor Variance file No. A045-19	57%	56% provided
Building Coverage (MP Zone)	50%	26% provided
F.A.R. (Max)	0.46	
From Yard Depth (Minimum)	9.0m required	29.8m provided
From any other front lot line		
Exterior Side Yard Width (Minimum)	7.5m required	79.5m provided
From any other exterior side lot line		
Interior Side Yard Width (Minimum)	1.5m required	79.5m provided
From any other interior side lot line		
Building Height (Maximum) - Refer to minor variance file No. A045-19	12.8m required	12.8m provided
Front Landscape Buffer where truck parking or loading spaces are provided abutting arterial road (Minimum)	12.0m required	12.0m provided
Landscape Buffer along Simpson Road (Min.)	6.0m required	6.0m provided
Landscape Buffer (Minimum)		
Along front, exterior, interior, and rear lot lines which abuts a Residential zone line or a lot containing a residential use.	3.0m required	3.0m provided
From any other lot line		
Driveway Setbacks (Minimum)	1.5m required	1.5m provided
Parking Space Setbacks (Minimum)	6.0m required	6.0m provided
From any front lot line and Stopover road		
Parking Space Setbacks (Minimum)	3.0m required	3.0m provided
From any other lot line		
Special Setbacks (7.0m from Natural Gas)	7.0m required	N/A
Parking Space Setbacks From Any Building	2.0m required	2.0m provided
Min. Entrance Width for Industrial Zones: 9m for Two-Way Entrance, 6m for One-Way	9.0m required	9.0m provided
Width of Drive Aisle	6.0m required	6.0m provided
Parking Space Requirements - Ph. 1, 2, & 3 Over 20,000m ² - 168 stalls + 1.0 spaces per 170 m ² of net floor area or portion thereof over 20,000m ² .	581 stalls required	589 stalls provided
Parking Spaces Provided (Phase 1 & 2)	310 stalls provided	364 stalls provided
Parking Spaces Proposed to be Removed (Phase 1 & 2)		109 stalls removed
Parking Spaces Proposed (Phase 3)		334 stalls provided
Total Parking Spaces proposed Ph. 1, 2 & 3		589 stalls provided
Accessible Parking Spaces - Phase 1, 2 & 3 201-1000 stalls - 2 accessible space + 2%	7 Type A & 7 Type B Stalls Required	7 Type A & 7 Type B Stalls Provided
Exclusive Use of Loading Space	See Note 7	See Note 7
Loading Space Requirements	12 stalls required	15 stalls provided
Parking Space Dimensions	2.75 m x 6.00 m MIN. STANDARD	
Accessible Parking Space Dimensions	TYPE A - 3.40 m x 6.00 m MIN. STANDARD TYPE B - 2.75 m x 6.00 m MIN. STANDARD	
Loading Space Dimensions	3.5 m x 14.0 m MIN. STANDARD	
Landscape Coverage (NET Phase 1, 2 & 3)	12.5% required	(30,448.18 SM) 15.57%
MIN. DELIVERY SPACES (9.0m x 3.5m)	1	5
MIN. LOADING SPACES (Use: 9.0m x 3.5m)	15	178
LOADING SPACES (Phase 3)	8	89
Trailer Parking (Phase 3)		160 stalls provided

- GENERAL NOTES**
- PROPERTY LINE
 - 2.75x6.00m PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS
 - PRINCIPLE ENTRY - TO HAVE AUTOMATIC DOORS INSTALLED AS PER ADDA GUIDELINES AND BE KEPT CLEAR OF ANY BARRIERS. TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
 - TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3.40x6.00m) & (1) TYPE B (2.75x6.00m) STALL C/W A 1.5m PAINTED AISLE - REFER TO SCHEDULE 'K' TOWN OF CALEDON STANDARDS. AND DETAIL A/A1.2.
 - KNOCK OUT PANEL (FUTURE)
 - 0.15m MIN. WIDE CURB TYPICAL
 - 1.50m MIN. WIDE SIDEWALK TYPICAL U.N.O
 - SCREEN WALL
 - DRIVE-IN RAMP, SEE CIVIL DRAWING FOR SLOPE %
 - ENTRY PLAZA - SEE LANDSCAPE DWGS.
 - RISI STONE RETAINING WALL- SEE CIVIL DWGS.
 - 3.66x16.755m (12'x55') TRAILER PARKING STALL TYP.
 - SWM POND. SEE CIVIL DRAWINGS
 - CONCRETE APRON
 - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
 - PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 0.60m. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
 - EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
 - TRUCK LOADING DOCK (TYPICAL)
 - LOADING SPACE - L.S. (3.5m x 14.0m)
 - FIRE ACCESS ROUTE W/ 12.0m TURNING RADIUS (---) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY TOWN OF CALEDON BY-LAW BL-2015-058, AS PER DETAIL B/A1.2.
 - RESERVED
 - LINE OF CANOPY ABOVE
 - ACOUSTIC SCREEN WALL MATCH TO EXISTING.
 - RESERVED
 - 1.5m WIDE PATTERNED ASPHALT PATHWAY
 - 3.0m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
 - RETAINING WALL - SEE CIVIL DWGS.
 - ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
 - EXISTING PARKING TO BE REMOVED AS PER PHASE 3 CONSTRUCTION
 - DELIVERY SPACE - D.S. (3.5m W x 9.0m L x 3.0m H) TO BE USED EXCLUSIVELY FOR DELIVERY PURPOSES.
 - 3:1 SLOPED ASPHALT - SEE CIVIL DWGS.
 - RB-93 PERMIT SIGNS
 - PROPOSED PAINTED LINES
 - DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C
 - EMPLOYEE AMENITY AREA W/ PICNIC TABLE SEATING ON GRASS
 - ASPHALT PAVING IN AUTOMOBILE PARKING AREAS - REFER TO CIVIL DWGS
 - LIGHTING AROUND ACCESSIBLE PARKING AND ENTRANCE WAYS TO BE A MINIMUM OF 35 LUX.
 - EXISTING RESIDENTIAL BUILDING FOOTPRINT.
 - MUNICIPAL SIDEWALK
 - 7.0m WIDE TEMPORARY CONSTRUCTION ACCESS (APPROVED PER REGIONAL PERMIT NO. 52019). TO BE REMOVED PRIOR TO BUILDING OCCUPANCY.
 - SNOW STORAGE - 1/2% OF PHASE 3 SITE AREA
 - JERSEY BARRIERS TO BE INSTALLED AS SHOWN FOR TRAFFIC CONTROL.
 - CHAIN LINK CRASH GATE FOR EMERGENCY VEHICLE ACCESS AND CONTINUATION OF FIRE ROUTE



- GENERAL SITE NOTES**
- REFER TO DRAWINGS FROM MTE CONSULTANTS INC. FOR GRADING AND SITE SERVING INFORMATION.
 - GARBAGE WILL BE STORED INSIDE THE BUILDING
 - ALL PERIMETER FENCING AT PROPERTY TO REMAIN.
 - ANY ROOFTOP MECHANICAL UNITS SHALL BE SUBJECT TO FUTURE BUILDING PERMIT, AND SHALL BE LOCATED TO BE ADEQUATELY SCREENED BEHIND HIGH PARAPET WALLS, TO MEET THE REQUIREMENTS OF THE TOWN OF CALEDON.
 - ALL EXTERIOR LIGHTING AT PRINCIPLE ENTRY POINTS AND ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE AT A MINIMUM LIGHTING LEVEL OF 35 LUX. REFER TO ELECTRICAL DRAWINGS FOR REFERENCE.
 - NO GRADING WORKS SHALL BE PERMITTED WITHIN THE TOWN'S STORM WATER MANAGEMENT FACILITY AND ALL EXISTING GRADES SHALL BE MATCHED AT PROPERTY LINES.
 - ANY REQUIRED PARKING, DELIVERY OR LOADING SPACE SHALL BE UNOBSTRUCTED AND AVAILABLE FOR THEIR RESPECTIVE PURPOSES AND USED EXCLUSIVELY FOR THAT PURPOSE AT ALL TIMES.



SITE SURVEY INFORMATION:
 INFORMATION ON THIS PLAN WAS TAKEN FROM THE SURVEY PLAN PREPARED BY ASHENHURST NOUWENS & ASSOCIATES INC. PART 1 - PLAN 43R-34749
 FILE NO. 14211 RPLAN 3

ILLUMINATION:
 WHERE PARKING AREAS ARE ILLUMINATED, THE LIGHTING FIXTURES SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: i) NO PART OF THE LIGHTING FIXTURE SHALL BE MORE THAN 9 METRES ABOVE GRADE AND NO CLOSER THAN 4.5m TO ANY LOT LINE; AND, ii) LIGHTING FIXTURES SHALL BE INSTALLED IN SUCH A MANNER THAT ALL LIGHT EMITTED BY THE FIXTURE, EITHER DIRECTLY FROM THE LAMP OR A DIFFUSING ELEMENT, OR INDIRECTLY BY REFLECTION OR REFRACTION FROM ANY PART OF THE FIXTURE IS PROJECTED BELOW THE LAMP AND ONTO THE LOT THE LIGHTING IS INTENDED TO SERVE.

DOOR OPERATOR:
 ALL PROPOSED PRINCIPLE ENTRANCES TO HAVE DOOR OPERATORS - DETAILS SUBJECT TO FUTURE TENANT ALTERATION PERMIT.