

BLOCK 1 (BUILDING 1) [EMPLOYMENT]		
MINIMUM LOT AREA	N/A	6.22 ha
LOT FRONTAGE (CONLIN ROAD)	N/A	165.8m
LOT COVERAGE	50%	32%
FRONT YARD	15.0m	66.9m
REAR YARD	13.5m	32.6m
INTERIOR SIDE YARD	7.5m	59.3m
EXTERIOR SIDE YARD	10.5m	37.6m
HEIGHT OF BUILDING	N/A	14.0 m (12.2 CLR)

BLOCK 2 (BUILDING 2 & 3) [EMPLOYMENT]		
MINIMUM LOT AREA	N/A	20.33 ha
LOT FRONTAGE (GARRARD ROAD)	N/A	503.00 m
LOT COVERAGE	50%	43%
FRONT YARD	15.0m	27.0m
REAR YARD	13.5m	32.5m
INTERIOR SIDE YARD	7.5m	15.9m
EXTERIOR SIDE YARD	10.5m	N/A
HEIGHT OF BUILDING	N/A	14.0 m (12.2 CLR)

BLOCK 3 [GREENBELT]		
MINIMUM LOT AREA	N/A	9.60 ha
LOT FRONTAGE (GARRARD ROAD)	N/A	238.6m
LOT COVERAGE	N/A	N/A
FRONT YARD	N/A	N/A
REAR YARD	N/A	N/A
INTERIOR SIDE YARD	N/A	N/A
EXTERIOR SIDE YARD	N/A	N/A
HEIGHT OF BUILDING	N/A	N/A
LANDSCAPED OPEN SPACE	N/A	100%

BLOCK 4 [GREENBELT]		
MINIMUM LOT AREA	N/A	4.05 ha
LOT FRONTAGE (CONLIN ROAD)	N/A	54.7m
LOT COVERAGE	N/A	N/A
FRONT YARD	N/A	N/A
REAR YARD	N/A	N/A
INTERIOR SIDE YARD	N/A	N/A
EXTERIOR SIDE YARD	N/A	N/A
HEIGHT OF BUILDING	N/A	N/A
LANDSCAPED OPEN SPACE	N/A	100%

BLOCK 1 (BUILDING 1)		REQUIRED (M1 ZONE)		PROVIDED	
LANDSCAPE OPEN SPACE		10% OF LOT (6,210 SM)		± 33% (20,677 SM)	

BLOCK 3 (BUILDING 2 & 3)		REQUIRED (M1 ZONE)		PROVIDED	
LANDSCAPE OPEN SPACE		10% OF LOT (20,270 SM)		± 23% (47,031 SM)	

PARKING REQUIREMENTS					
BUILDING (INDUSTRIAL + OFFICE)	GFA (m2)	REQUIRED RATIO *GFA	REQUIRED SPACES	PROPOSED SPACES	PROPOSED RATIO
BUILDING 1 (18,918+1,852)	20,770	1 PER 100 m2	208	127	.61
BUILDING 2 (33,637+1,886)	35,523	1 PER 100 m2	355	342	.96
BUILDING 3 (50,014+2,080)	52,094	1 PER 100 m2	521	294	.56
<b>SUBTOTAL</b>			<b>1,084</b>	<b>763</b>	<b>-321</b>

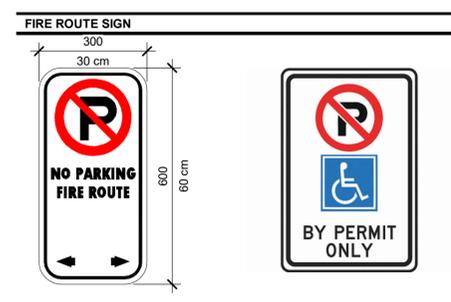
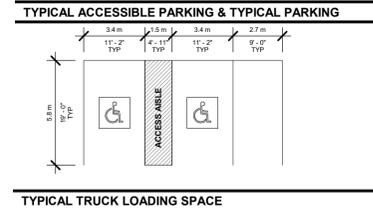
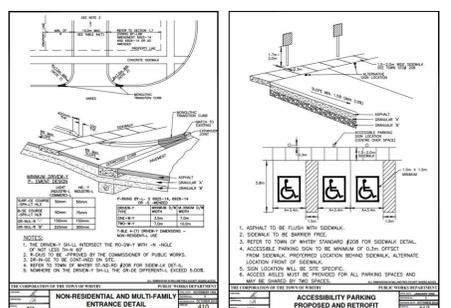
ACCESSIBLE PARKING		
BUILDING	REQUIRED	PROPOSED
BUILDING 1 (208)	6	6
BUILDING 2 (355)	9	10
BUILDING 3 (521)	12	12

PARKING DIMENSION	
REQUIRED	PROPOSED
5.8m x 2.75m	5.8m x 2.75m

LOADING SPACE REQUIREMENTS		
BUILDING	REQUIRED SPACES	PROPOSED SPACES
BUILDING 1 (20,770)	5	35
BUILDING 2 (35,523)	6	63
BUILDING 3 (52,094)	8	90
<b>TOTAL</b>	<b>19</b>	<b>188</b>

LOADING SPACE (3 PLUS 1 ADDITIONAL FOR EVERY ADDITIONAL 10,000 m2 OR PORTION THERE OF)			
LOADING SPACE DIMENSIONS/ REQUIREMENT	MINIMUM LENGTH	MINIMUM WIDTH	MINIMUM HEIGHT
	10.0m	3.5m	4.5m
TRUCK STORAGE SPACES	92		

BUILDING STATISTICS	
<b>SITE AREA:</b>	
PROPOSED SITE AREA	41,010 ha (4,414,280 SF)
EXISTING SITE AREA	41,960 ha (4,516,737 SF)
<b>BUILDING GFA:</b>	
BUILDING 1	±20,770 SQM (±223,566 SF)
BUILDING 2	±35,523 SQM (±382,366 SF)
BUILDING 3	±52,094 SQM (±560,735 SF)
<b>TOTAL GFA AREA:</b>	<b>±108,387 SQM (±1,166,667 SF)</b>
<b>BUILDING AREA: *INCLUDES LEVEL 01 OFFICES*</b>	
BUILDING 1	±19,844 SQM (±213,603 SF)
BUILDING 2	±34,580 SQM (±372,212 SF)
BUILDING 3	±51,054 SQM (±549,543 SF)
<b>TOTAL AREA:</b>	<b>±105,478 SQM (±1,135,358 SF)</b>
<b>OFFICE AREA:</b>	
BUILDING 1-2 OFFICE FLOOR	
OFFICE 1:	
LEVEL 1 (GRND FLR)	463 SM / 4,983 SF
LEVEL 2 (MEZZANINE)	463 SM / 4,983 SF
OFFICE 2:	
LEVEL 1 (GRND FLR)	463 SM / 4,983 SF
LEVEL 2 (MEZZANINE)	463 SM / 4,983 SF
<b>TOTAL:</b>	<b>1,852 SM / 19,935 SF</b>
BUILDING 2-2 OFFICE FLOOR	
OFFICE 1:	
LEVEL 1 (GRND FLR)	461 SM / 4,962 SF
LEVEL 2 (MEZZANINE)	461 SM / 4,962 SF
OFFICE 2:	
LEVEL 1 (GRND FLR)	482 SM / 5,188 SF
LEVEL 2 (MEZZANINE)	482 SM / 5,188 SF
<b>TOTAL:</b>	<b>1,886 SM / 20,300 SF</b>
BUILDING 3-2 OFFICE FLOOR	
OFFICE 1:	
LEVEL 1 (GRND FLR)	520 SM / 5,597 SF
LEVEL 2 (MEZZANINE)	520 SM / 5,597 SF
OFFICE 2:	
LEVEL 1 (GRND FLR)	520 SM / 5,597 SF
LEVEL 2 (MEZZANINE)	520 SM / 5,597 SF
<b>TOTAL:</b>	<b>2,080 SM / 22,388 SF</b>
<b>OPEN SPACE BLOCK AREA</b>	<b>144,600 sm (±1,556,461 sf)</b>
<b>BLOCK COVERAGE</b>	<b>26.4%</b>
<b>BUILDING COVERAGE:</b>	<b>25.7%</b>
<b>TOTAL CAR PARKING PROVIDED</b>	<b>859 SPACES</b>



**FIRE ROUTE SIGN NOTES AS PER BY LAW (4084-97 SIGNS)**

- WITHIN 7.5M OF EACH LIMIT OF THE DESIGNATED FIRE ROUTE; AT INTERVALS NOT GREATER THAN 30M ALONG THE DESIGNATED ROUTE, BOTH SIDES OF THE ROADWAY;
- MIN HEIGHT OF 1.5M AND MAX HEIGHT OF 2.5M ABOVE GRADE
- 4M FROM THE EDGE OF THE PRIVATE ROADWAY DESIGNATED AS A FIRE ROUTE

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**PROJECT TITLE**  
**ANATOLIA**  
 975 CONLIN ROAD, WHITBY, ON  
 A PROJECT FOR  
**ANATOLIA CAPITAL CORP.**

SITE LEGENDS	
	DESIGNATED FIRE ACCESS LANE - MINIMUM 6m
	CENTER LINE OF FIRE LANE TO BE 12m RADII
	FENCE
	SITE ENTRANCE
	PRINCIPAL BUILDING ENTRANCE
	PROPOSED FIRE HYDRANT RE-CIVIL FOR
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT
	VISITOR PARKING
	LOADING SPACE CLEARANCE (10mL x 3.5mW x 4.5mH)
	EXTERIOR LIGHTING REFER TO ELECTRICAL

**A** PROVIDE FIRE LANE STRIPPING PER LOCAL JURISDICTION  
**B** FIRE DEPARTMENT ACCESS LANE SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS  
**C** CENTER LINE OF FIRE LANE TO BE 12m RADII

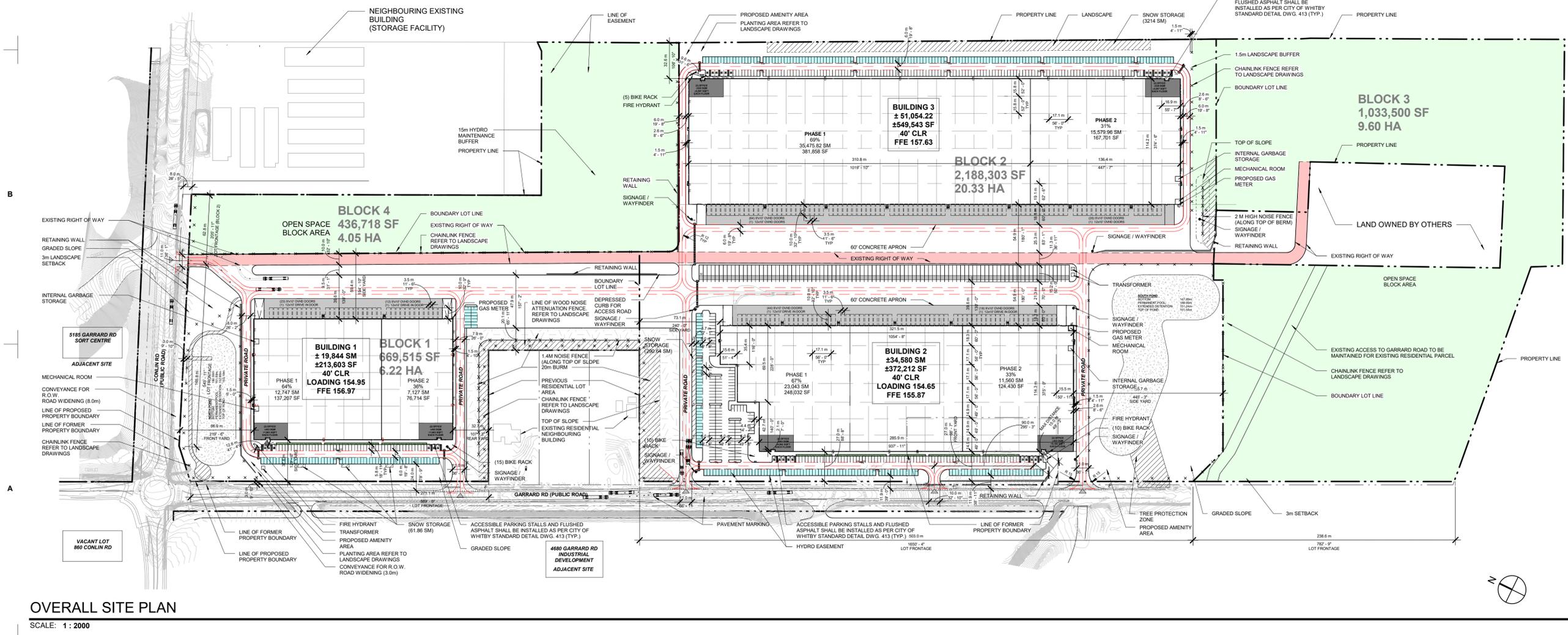
FIRE TRUCK SIZE:  
 7315  
 24'-0"

DATE	REVISION
1 2022-12-08	ISSUE FOR DEMOLITION PERMIT
2 2023-01-09	ISSUE FOR COORDINATION
2023-03-28	ISSUE FOR SPA
2023-11-17	ISSUE FOR COORDINATION
2023-12-01	REISSUE FOR SPA

PROJECT NO: 215100  
 DRAWN BY: TS/JLA  
 CHECKED BY: AM  
 SHEET NAME

**OVERALL CAMPUS PLAN**

SEAL SHEET NUMBER  
**AS101**



**OVERALL SITE PLAN**  
 SCALE: 1 : 2000

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**PROJECT TITLE**

**ANATOLIA**  
975 CONLIN ROAD, WHITBY, ON

A PROJECT FOR  
**ANATOLIA CAPITAL CORP.**

**GENERAL NOTES**

A EXTEND ALL VERTICAL REVEALS, EXTERIOR PAINT AND TEXTURE ON PRECAST PANEL TO FINISHED GRADE

**LEGEND - OVERALL ELEVATIONS**

- PRECAST PANEL W/ CUSTOM FORMLINER - WHITE FLEX-PANEL
- WHITE FLEX-WALL PANEL
- PREFINISHED METAL CANOPY
- USE OF CANOPY - WOOD FINISH
- GLAZING - VISION GLASS W/ UV COATING
- CLEAR ANODIZED MULLION

**SIGNAGE AREA**

SIGN 1 = 5.14m<sup>2</sup>  
SIGN 2 = 5.14m<sup>2</sup>  
TOTAL = 10.28m<sup>2</sup>

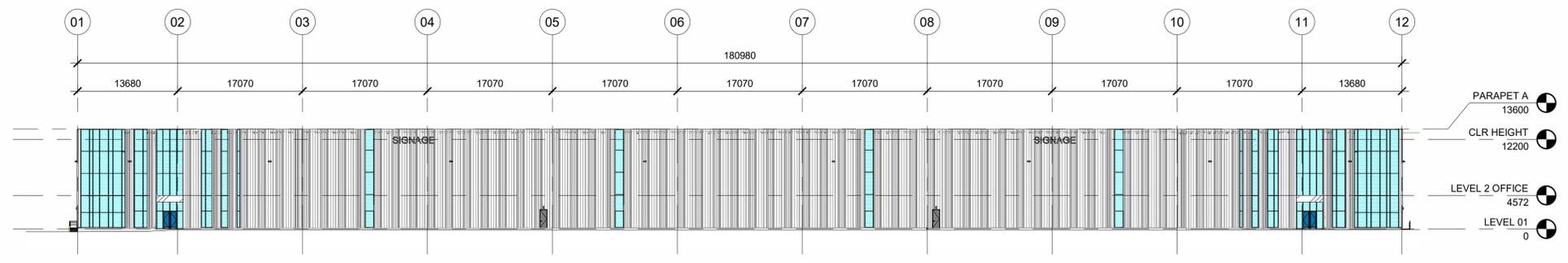
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1	2022-12-08	ISSUE FOR DEMOLITION PERMIT
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	2023-03-28	ISSUE FOR SPA
	2023-12-01	REISSUE FOR SPA

PROJECT NO: 215100  
DRAWN BY: JLA  
CHECKED BY: AM

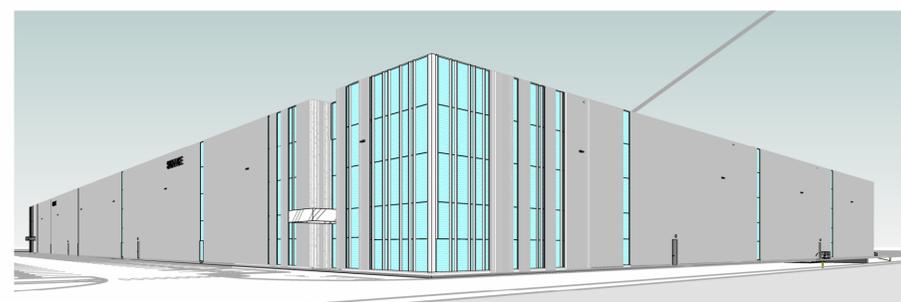
**SHEET NAME**  
**OVERALL BUILDING ELEVATIONS - BUILDING 1**

SEAL SHEET NUMBER

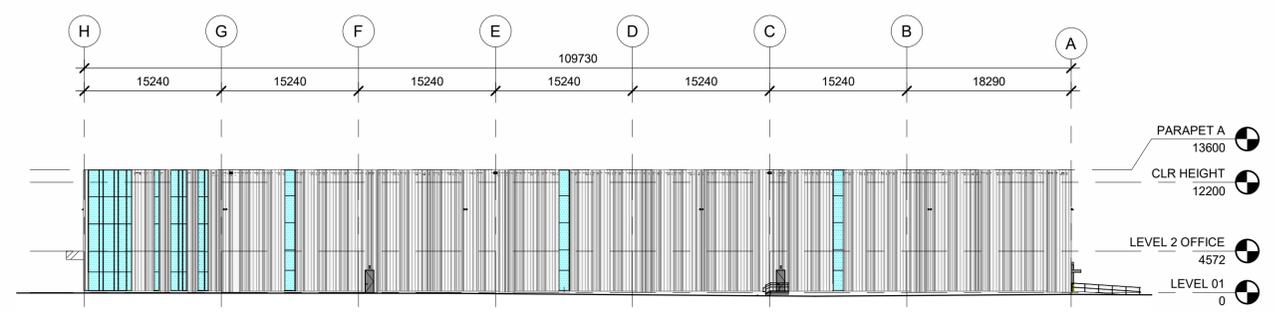
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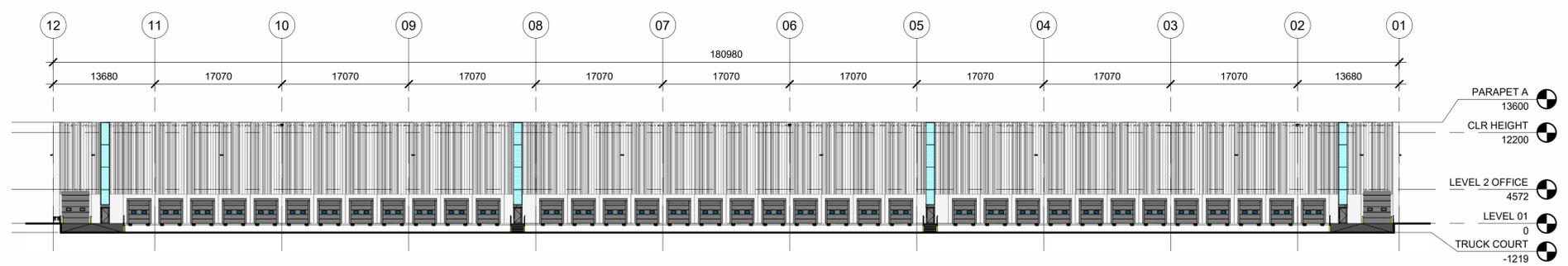
**D3 OVERALL ELEVATION - WEST (BUILDING 01)**  
SCALE: 1 : 400



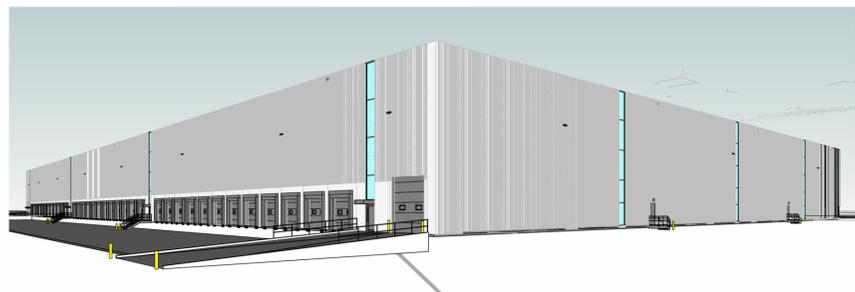
**SOUTHWEST CORNER (BUILDING 01)**  
SCALE:



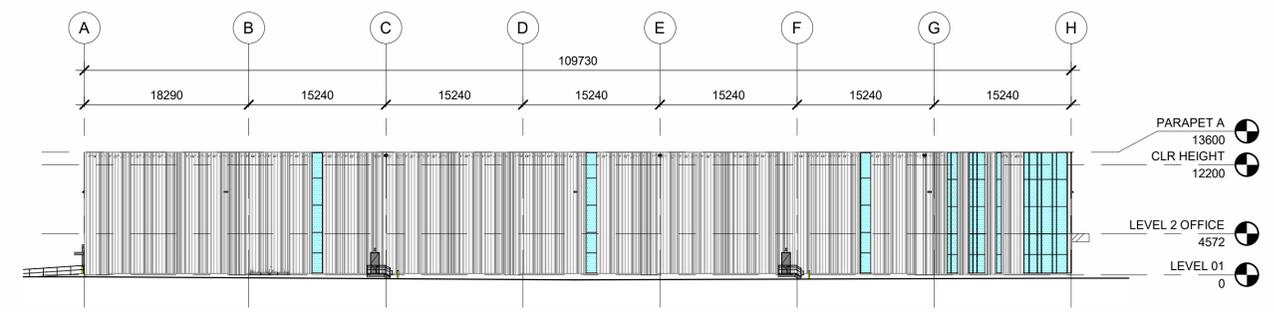
**C2 OVERALL ELEVATION - SOUTH (BUILDING 01)**  
SCALE: 1 : 400



**B3 OVERALL ELEVATION - EAST (BUILDING 01)**  
SCALE: 1 : 400



**NORTHEAST CORNER (BUILDING 01)**  
SCALE:



**A2 OVERALL ELEVATION - NORTH (BUILDING 01)**  
SCALE: 1 : 400

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PROJECT TITLE

ANATOLIA - BUILDING 02

CONLIN RD, WHITBY, ON

A PROJECT FOR  
ANATOLIA

GENERAL NOTES

A EXTEND ALL VERTICAL REVEALS, EXTERIOR PAINT AND TEXTURE ON PRECAST PANEL TO FINISHED GRADE

LEGEND - OVERALL ELEVATIONS

- PRECAST PANEL W/ CUSTOM FORMLINER - WHITE FLEX-PANEL
- WHITE FLEX-WALL PANEL
- PREFINISHED METAL CANOPY
- US OF CANOPY - WOOD FINISH
- GLAZING - VISION GLASS W/ UV COATING
- CLEAR ANODIZED MULLION

SIGNAGE AREA

SIGN 1 = 5.14m²  
SIGN 2 = 5.14m²  
TOTAL = 10.28m²

DATE	REVISION
2023-01-09	ISSUE FOR COORDINATION
2023-03-28	ISSUE FOR SPA
2023-03-28	REISSUE FOR SPA
2023-12-01	REISSUE FOR SPA

PROJECT NO: 215100

DRAWN BY: JLA

CHECKED BY: AM

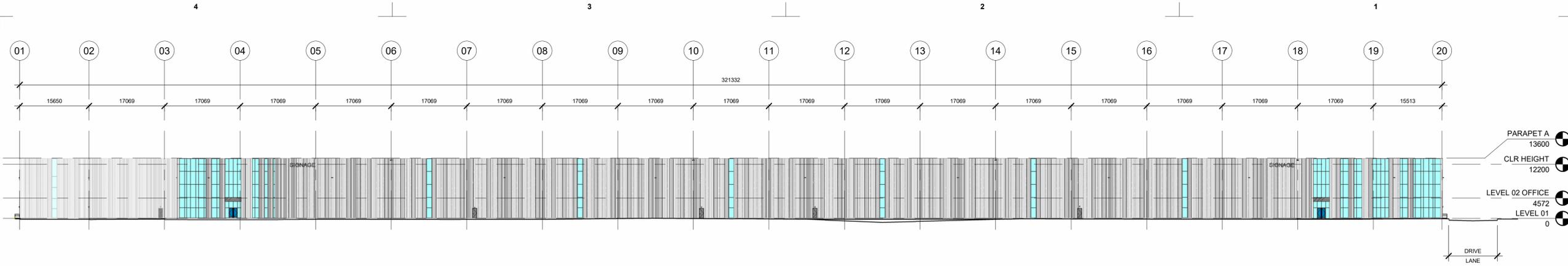
SHEET NAME

OVERALL BUILDING  
ELEVATIONS - BUILDING 02

SEAL

SHEET NUMBER

A201-2



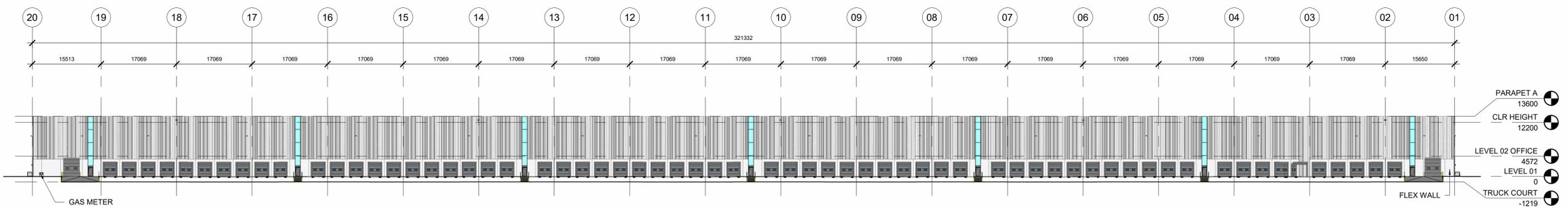
D4 OVERALL ELEVATION - WEST (BUILDING 02).

SCALE: 1 : 500



SOUTHWEST CORNER (BUILDING 02)

SCALE:



B4 OVERALL ELEVATION - EAST (BUILDING 02)

SCALE: 1 : 500

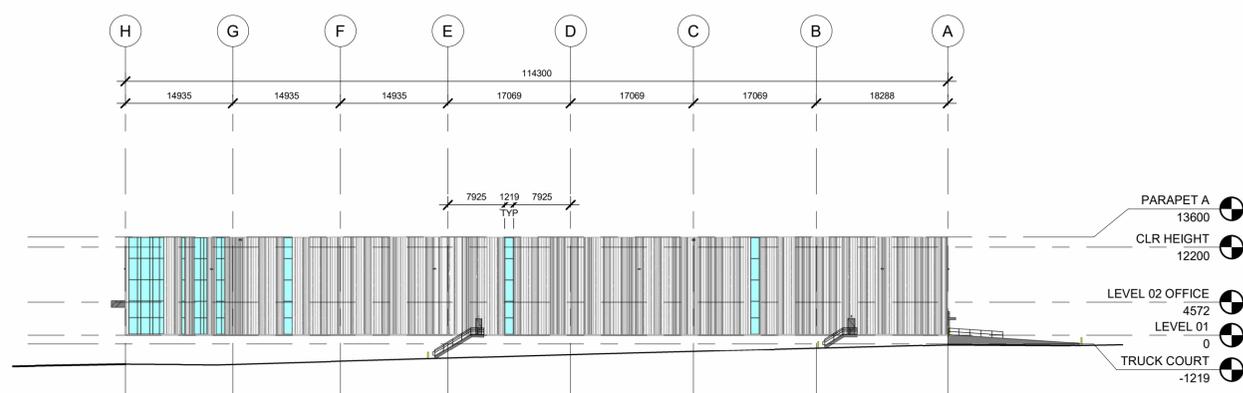


NORTHWEST CORNER (BUILDING 02)

SCALE:

C2 OVERALL ELEVATION - SOUTH (BUILDING 02)

SCALE: 1 : 500



A2 OVERALL ELEVATION - NORTH (BUILDING 02)

SCALE: 1 : 500

**PROJECT TITLE**

**ANATOLIA - BUILDING 03**

CONLIN RD, WHITBY, ON

A PROJECT FOR  
**ANATOLIA**

**GENERAL NOTES**

A EXTEND ALL VERTICAL REVEALS, EXTERIOR PAINT AND TEXTURE ON PRECAST PANEL TO FINISHED GRADE

**LEGEND - OVERALL ELEVATIONS**

-  PRECAST PANEL W/ CUSTOM FORMLINER - WHITE FLEX-PANEL
-  WHITE FLEX-WALL PANEL
-  PREFINISHED METAL CANOPY
-  U/S OF CANOPY - WOOD FINISH
-  GLAZING - VISION GLASS W/ UV COATING
-  CLEAR ANODIZED MULLION

**SIGNAGE AREA**

SIGN 1 = 5.14m<sup>2</sup>  
SIGN 2 = 5.14m<sup>2</sup>  
TOTAL = 10.28m<sup>2</sup>

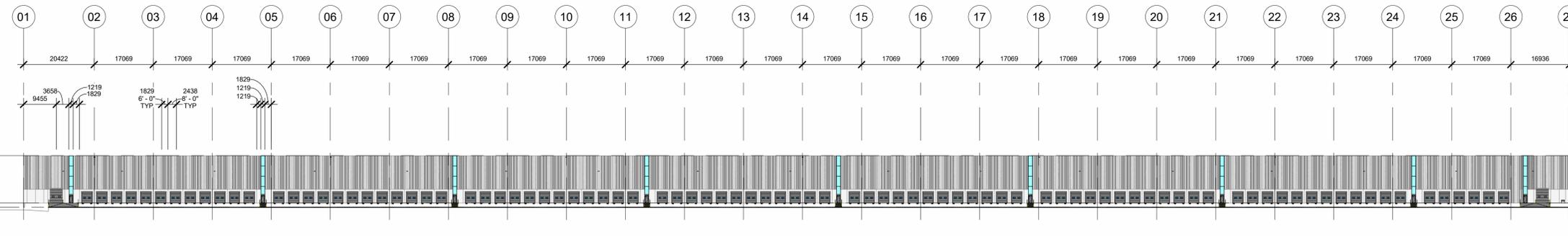
DATE	REVISION
2023-01-09	ISSUE FOR COORDINATION
2023-03-28	ISSUE FOR SPA
2023-03-28	REISSUE FOR SPA
2023-12-01	REISSUE FOR SPA

PROJECT NO: 215100  
DRAWN BY: JLA/TS  
CHECKED BY: AM

**OVERALL BUILDING  
ELEVATIONS - BUILDING 3**

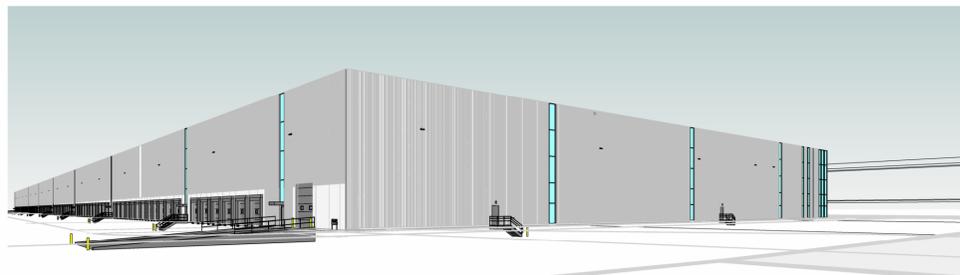
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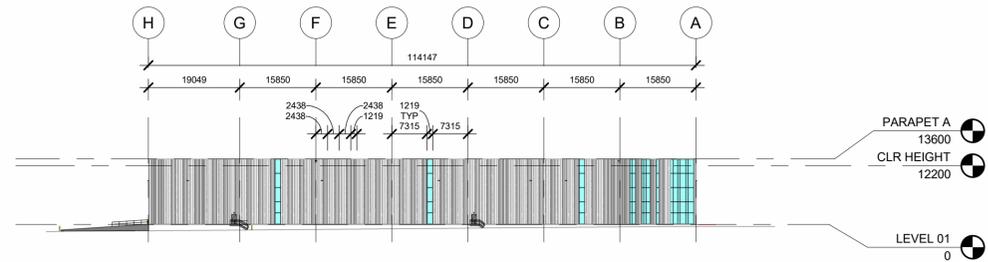
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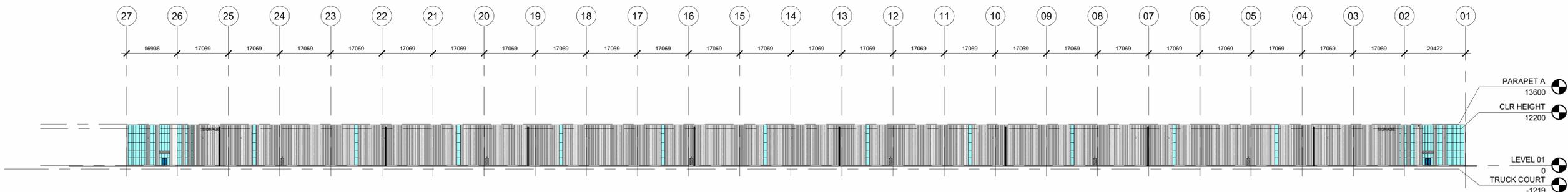
**SOUTHWEST CORNER (BUILDING 03)**

SCALE:



**C2 OVERALL ELEVATION - SOUTH (BUILDING 03)**

SCALE: 1 : 750



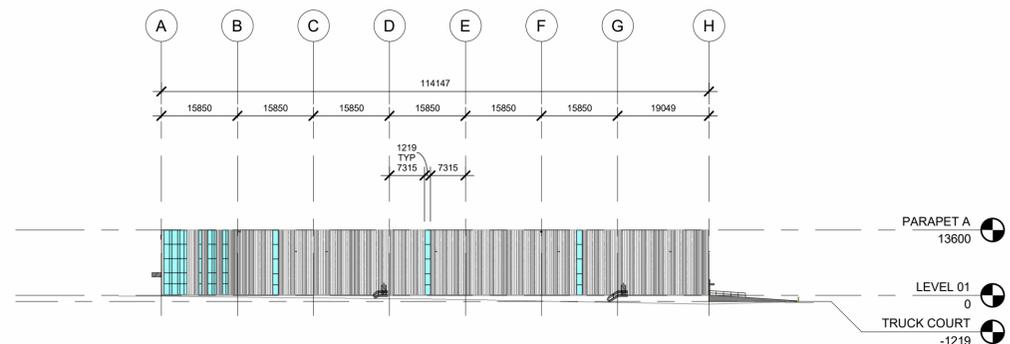
**B4 OVERALL ELEVATION - EAST (BUILDING 03)**

SCALE: 1 : 750



**NORTHEAST CORNER (BUILDING 03)**

SCALE:



**A2 OVERALL ELEVATION - NORTH (BUILDING 03)**

SCALE: 1 : 750