

WARE MALCOMB

6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221

ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

anatolia
TILE & STONE

6728 SIXTH LINE,
MILTON

6728 SIXTH LINE
MILTON, ONTARIO L9T 2Y3

OVERALL SITE PLAN

DATE	REMARKS
1 2024-01-11	ISSUED FOR SPA
2 2024-09-27	RE-ISSUED FOR SPA
3 2024-12-09	RE-ISSUED FOR SPA COMMENTS
4 2025-01-29	ISSUED FOR COORDINATION
5 2025-02-14	ISSUED FOR COORDINATION

PA / PM: C.R.

DRAWN BY: HW

JOB NO.: TOR21-0016-01

SHEET

A100

Provision	Required (M1 Zone)	Proposed (M1-XX Zone)
Zoning Category	M1 Zone	M1-XX
Lot Frontage (min)	40.0 m	388.53 m
Lot Area (Block 1)	0.80 ha	211,950 m ²
Gross Floor Area	N/A	104,660 m ²
Lot Coverage (with municipal services)	No maximum	49.38%
Front Yard Setback (Min)	9.0 m	43.84 m
Interior Side Yard Setback (Min)	3.0 m	66.63 m
Exterior Side Yard Setback (Min)	9.0 m	53.02 m
Rear Yard Setback (Min)	12.0 m	125.58 m
Landscape Open Space (min)	10%	16.85%
Number of Parking Spaces (min)	572	553
Number of Accessible Parking Space (min)	14	16
Number of Loading Spaces (min)	14	156
Bicycle Parking (min)	17	28
Building Height (max)	15 m	14.66 m
Dock Doors	-	152

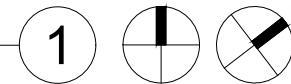
Provision	Required (M1 Zone)	Proposed (M1-XX Zone)
Zoning Category	M1 Zone	M1-XX
Lot Frontage (min)	40.0 m	69.45
Lot Area (Block 2)	0.80 ha	154,107 m ²
Gross Floor Area	N/A	59,053 m ²
Lot Coverage (with municipal services)	No maximum	38.32%
Front Yard Setback (Min)	9.0 m	100.51 m
Interior Side Yard Setback (Min)	3.0 m	39.97 m
Exterior Side Yard Setback (Min)	9.0 m	49.23 m
Rear Yard Setback (Min)	12.0 m	194.29 m
Landscape Open Space (min)	10%	15.26%
Number of Parking Spaces (min)	344	334
Number of Accessible Parking Space (min)	9	12
Number of Loading Spaces (min)	9	109
Bicycle Parking (min)	10	24
Building Height (max)	15 m	14.44m
Dock Doors	-	107

Provision	Required (M1 Zone)	Proposed (M1-XX Zone)
Zoning Category	M1 Zone	M1-XX
Lot Frontage (min)	40.0 m	96.51m(66.05+30.51)
Lot Area (Block 3)	0.80 ha	60,346 m ²
Gross Floor Area	N/A	18,402 m ²
Lot Coverage (with municipal services)	No maximum	30.49%
Front Yard Setback (Min)	9.0 m	70.34 m
Interior Side Yard Setback (Min)	3.0 m	40.48 m
Exterior Side Yard Setback (Min)	9.0 m	14.18 m
Rear Yard Setback (Min)	12.0 m	304.87 m
Landscape Open Space (min)	10%	39.60%
Number of Parking Spaces (min)	141	140
Number of Accessible Parking Space (min)	6	6
Number of Loading Spaces (min)	5	51
Bicycle Parking (min)	4	8
Building Height (max)	15 m	15.00 m
Dock Doors	-	49

ZBL Sec.	Minimum ZBL Requirements	Requirement BLD 1 (M1 Zone)	Proposed BLD 1	Requirement BLD 2 (M1 Zone)	Proposed BLD 2	Requirement BLD 3 (M1 Zone)	Proposed BLD 3	Total Requirement	Total Proposed
N/A	Warehouse Building GFA- Approx	N/A	104,660 m ²	N/A	59,053 m ²	N/A	18,402 m ²		
N/A	Office Space GFA (5% of warehouse)	N/A	5,233 m ²	N/A	2,953 m ²	N/A	920 m ²		
Zoning By-law 016-2014	0 to 1,000 m ² = 1 space/ 30 m ²								
	1,001 m ² to 5,000m ² = 1space/100m ²	572	553	344	334	141	140	1057	1027
	>5,000m ² = 1 space/200m ²								
	Number of Accessible Parking Spaces	14	16	9	12	6	6	29	34
	Bicycle Parking 3% of the required parking spaces	17	28	10	24	4	8	30	60
	Loading Spaces 3 Loading space +1 additional loading space for each additional 9,300 m ² or fraction thereof in excess of 7,441 m ²	14	158	9	112	5	51	28	321
	Trailer Parking	N/A	218	N/A	120	N/A	0	N/A	338

OVERALL SITE PLAN

SCALE: 1:2000

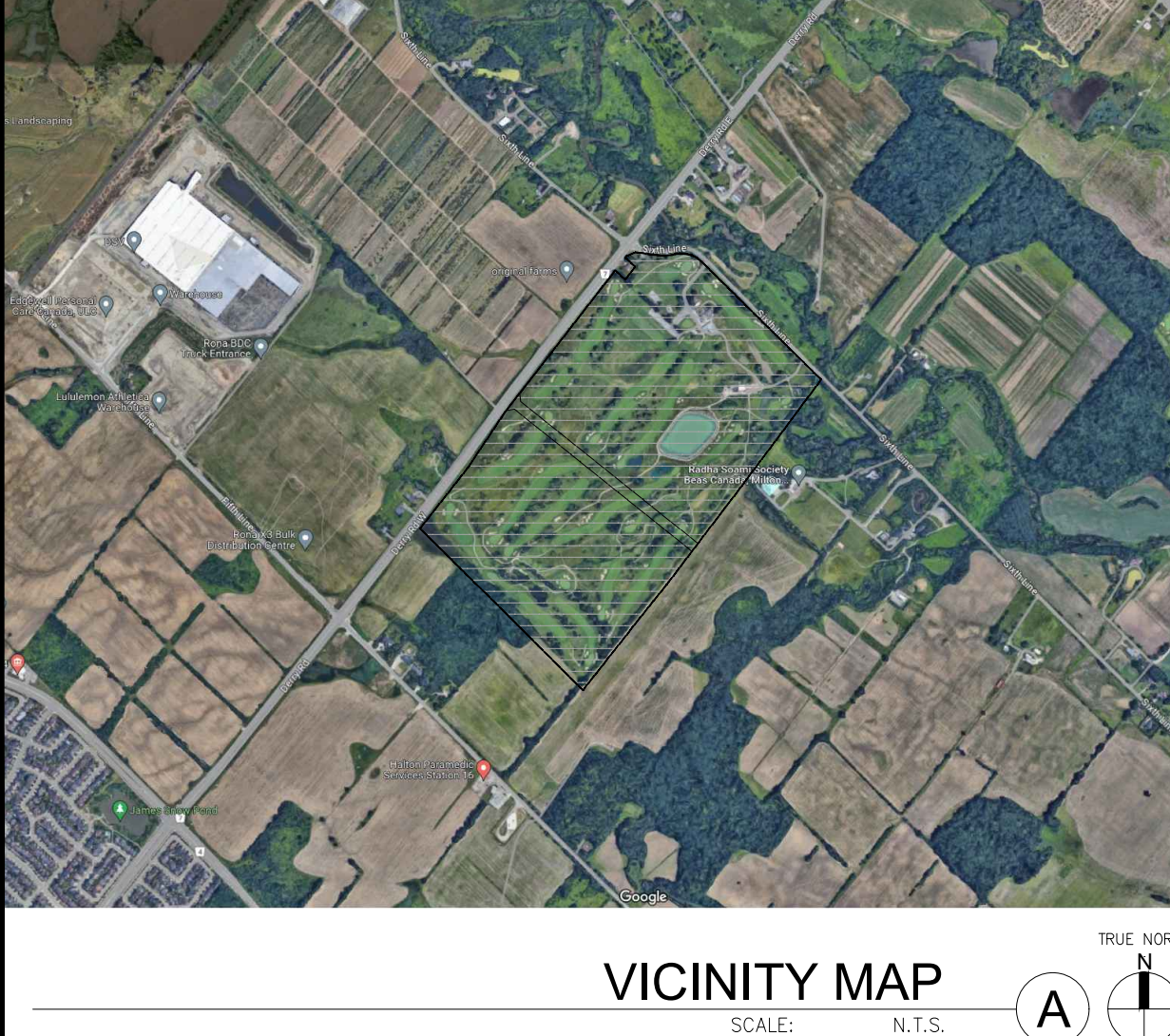


GENERAL NOTES

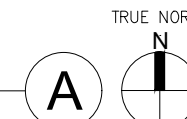
- PROPERTY LINE INCLUDING 0.30M RESERVE AND ULTIMATE ROAD WIDENING
- 2.75m x 5.8m PARKING STALL, PAINTED PARKING STRIPING PER TOWN OF MILTON'S STANDARDS. WITH 6M WIDE DOUBLE LOADED AISLE.
- PRINCIPAL ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE TYPE A STALLS (3400X5800), TYPE B (2750X5800),OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF MILTON'S ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O
- TRAILER PARKING STALL - 3.66m X 16.76m
- ACCESSIBLE CURB RAMP AS PER DETAIL
- FIRE DEPARTMENT CONNECTION / SIAMESE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (MIN. 12.0m X 3.5m)
- FIRE ACCESS ROUTE W/ 12M TURNING RADIUS (-----)
- PROPOSED ELECTRICAL ROOM
- PROPOSED MECHANICAL ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
- 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
- PROPOSED STOP SIGN LOCATION
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES
- RETAINING WALL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- PROPOSED FIRE ROUTE SIGN LOCATION
- RESERVED
- PROPOSED AMENITY AREA
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- PROPOSED CHAIN-LINK FENCE
- CONCRETE/STEEL SAFETY BOLLARD
- SCREEN WALL
- PROPOSED PYLON SIGNAGE
- DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- PROPOSED NOISE WALL
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
- FUTURE SHIPPING OFFICE
- WASTE COLLECTION STAGING AREA. TO BE USED TO TEMPORARILY PLACE BINS FOR GARBAGE COLLECTION
- 2.20m CLEAR SPACE SETBACK
- FUTURE INTERNAL WASTE ROOMS

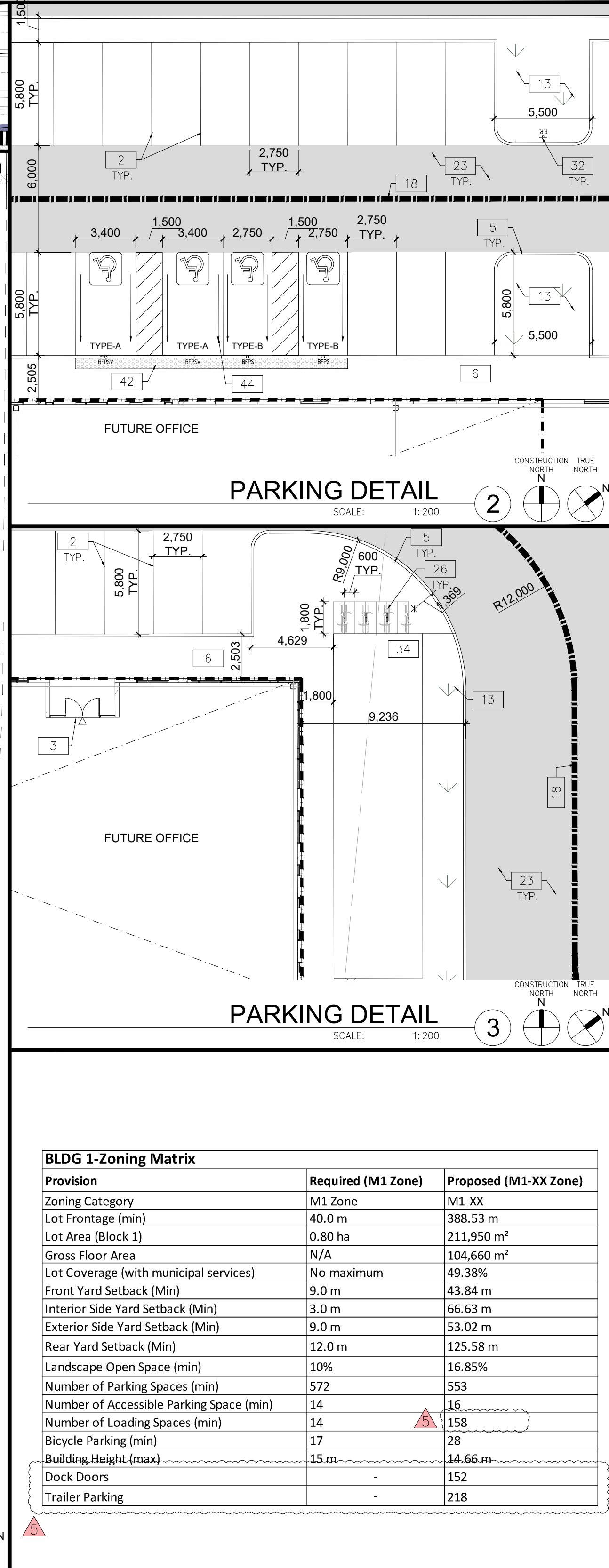
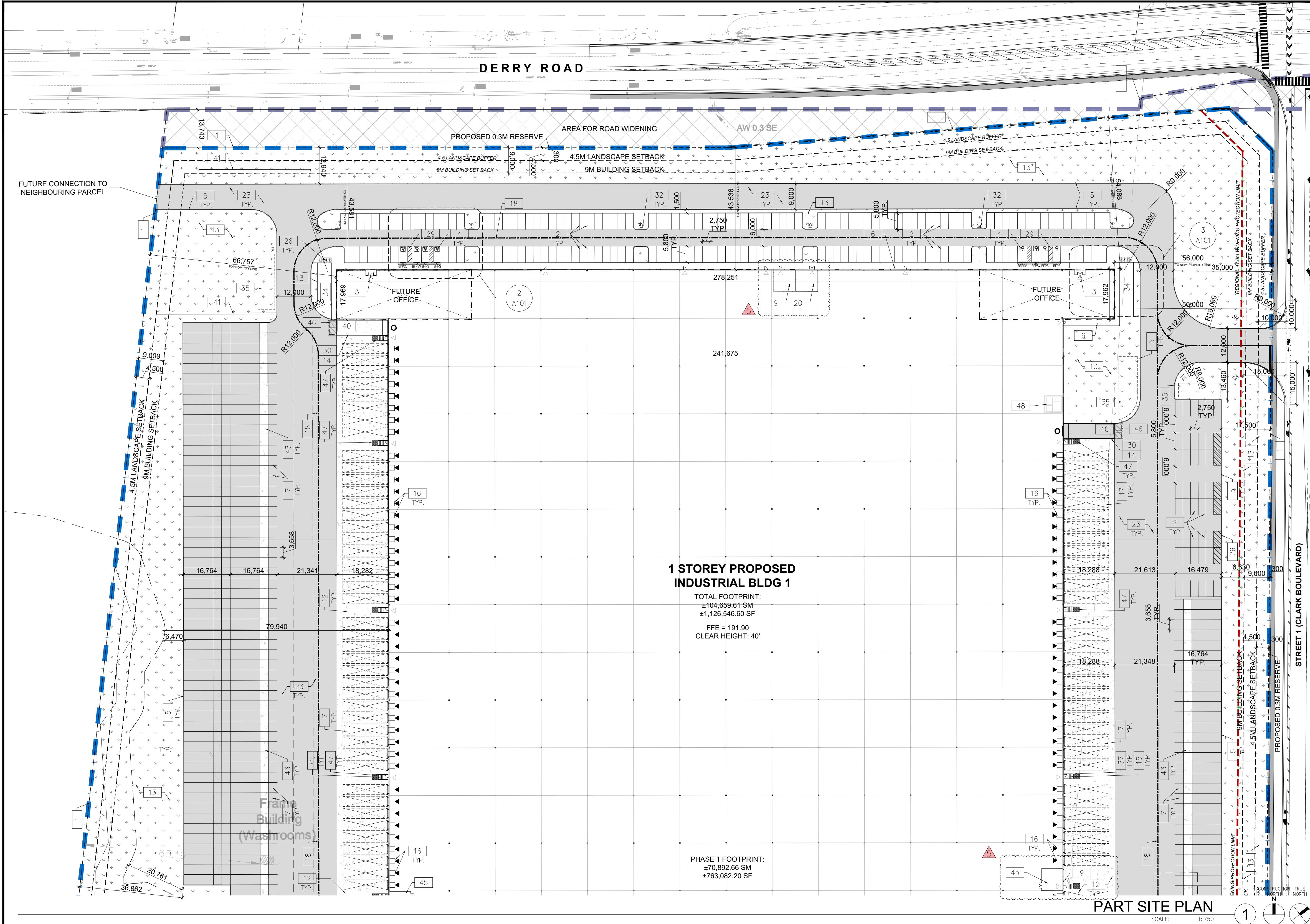
SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- LANDSCAPE AREA
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS
- EXISTING PROPERTY BOUNDARY
- NEW PROPERTY BOUNDARY
- TRUCK LOADING DOCK DOOR
- KNOCK OUT PANEL
- MAIN DOOR ENTRY
- EXIT DOOR LOCATION
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- 1500mm WIDE DEPRESSIONED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/A1.2
- PROPOSED CATCHBASIN
- DENOTES MANHOLE
- EXISTING HYDRO POLE
- CP PAINTED CARPOOL PARKING SPACE SYMBOL
- BFPSS BARRIER FREE PARKING SIGN WITH VAN TAB
- BFPSPV BARRIER FREE PARKING SIGN WITH VAN TAB
- DSTOP NEW STOP SIGN
- D.F.R. NEW FIRE ROUTE SIGN
- GM GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
- LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
- LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS
- E.V. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS



VICINITY MAP
SCALE: 1:2000



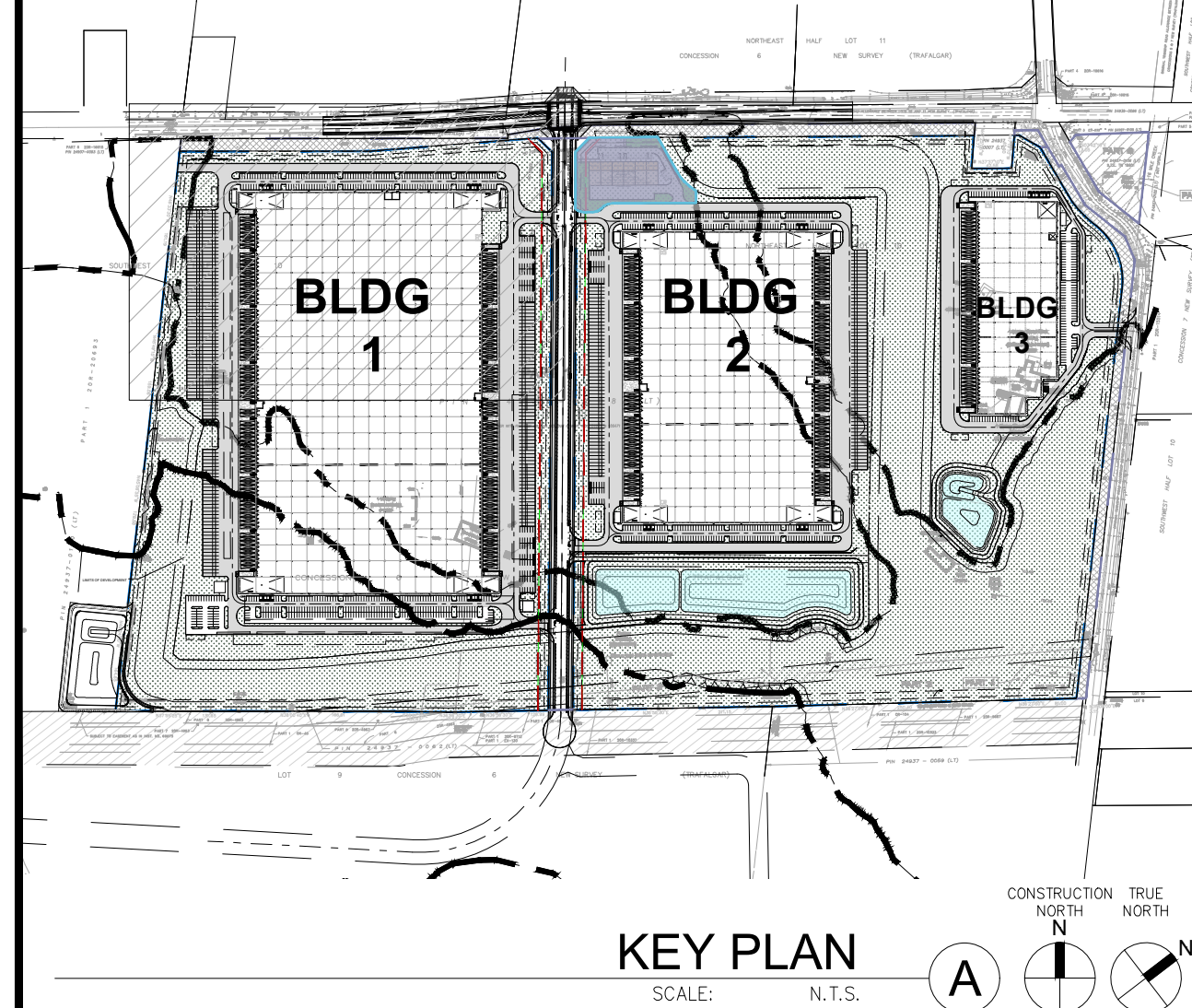


GENERAL NOTES

- PROPERTY LINE INCLUDING 0.30M RESERVE AND ULTIMATE ROAD WIDENING
- 2.75m x 5.8m PARKING STALL, PAINTED PARKING STRIPING PER TOWN OF MILTON'S STANDARDS. WITH 6M WIDE DOUBLE LOADED AISLE.
- PRINCIPAL ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE TYPE A STALLS (3400x5800), TYPE B (2750x5800), OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF MILTON'S ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O
- TRAILER PARKING STALL - 3.66m X 16.76m
- ACCESSIBLE CURB RAMP AS PER DETAIL
- FIRE DEPARTMENT CONNECTION / SIAMESE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (MIN. 12.0m X 3.5m)
- FIRE ACCESS ROUTE W/ 12M TURNING RADIUS (---)
- PROPOSED ELECTRICAL ROOM
- PROPOSED MECHANICAL ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
- 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
- PROPOSED STOP SIGN LOCATION
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES
- RETAINING WALL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- PROPOSED FIRE ROUTE SIGN LOCATION
- RESERVED
- PROPOSED AMENITY AREA
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- PROPOSED CHAIN-LINK FENCE
- CONCRETE/STEEL SAFETY BOLLARD
- SCREEN WALL
- PROPOSED PYLON SIGNAGE
- DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- PROPOSED NOISE WALL
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
- FUTURE SHIPPING OFFICE
- WASTE COLLECTION STAGING AREA. TO BE USED TO TEMPORARILY PLACE BINS FOR GARBAGE COLLECTION
- 2.20m CLEAR SPACE SETBACK
- FUTURE INTERNAL WASTE ROOMS

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)**
- LANDSCAPE AREA**
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.**
- FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS**
- EXISTING PROPERTY BOUNDARY**
- NEW PROPERTY BOUNDARY**
- TRUCK LOADING DOCK DOOR**
- KNOCK OUT PANEL**
- MAN DOOR ENTRY**
- EXIT DOOR LOCATION**
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)**
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)**
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)**
- 1500mm WIDE DEEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/A1.2**
- PROPOSED CATCHBASIN**
- DENOTES MANHOLE**
- EXISTING HYDRO POLE**
- CP** PAINTED CARPOOL PARKING SPACE SYMBOL
- BFPS** BARRIER FREE PARKING SIGN
- BFPSV** BARRIER FREE PARKING SIGN WITH VAN TAB
- O** DRIVE-IN DOOR
- DSTOP** NEW STOP SIGN
- DR.F.R.** NEW FIRE ROUTE SIGN
- GM** GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
- LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS**
- LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS**
- E.V.** PROPOSED ELECTRIC VEHICLE CHARGING STATIONS



WARE MALCOMB

6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221

ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

anatolia
TILE & STONE

**6728 SIXTH LINE,
MILTON**

**6728 SIXTH LINE
MILTON, ONTARIO L9T 2Y3**

PART SITE PLAN

DATE	REMARKS
2024-01-11	ISSUED FOR SPA
2024-09-27	RE-ISSUED FOR SPA COMMENTS
2024-12-09	ISSUED FOR COORDINATION
2025-01-29	ISSUED FOR COORDINATION
2025-02-14	ISSUED FOR COORDINATION

PA / PM: C.R.

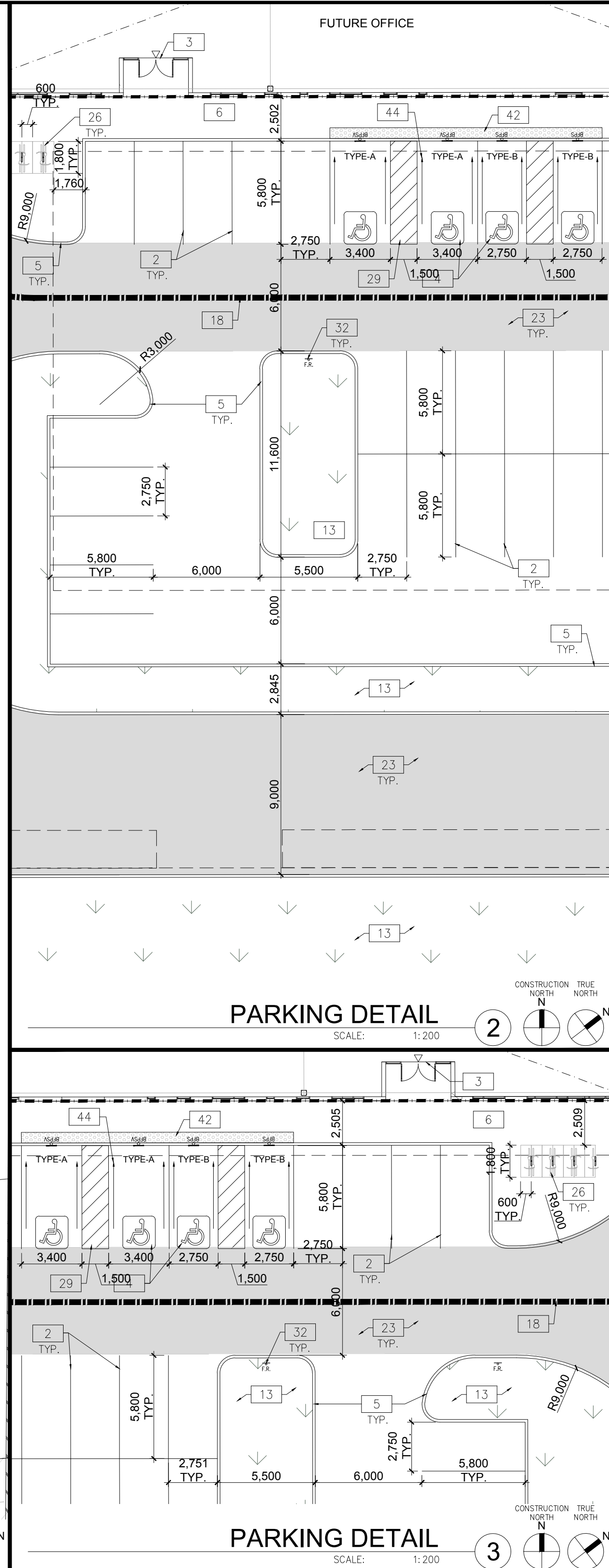
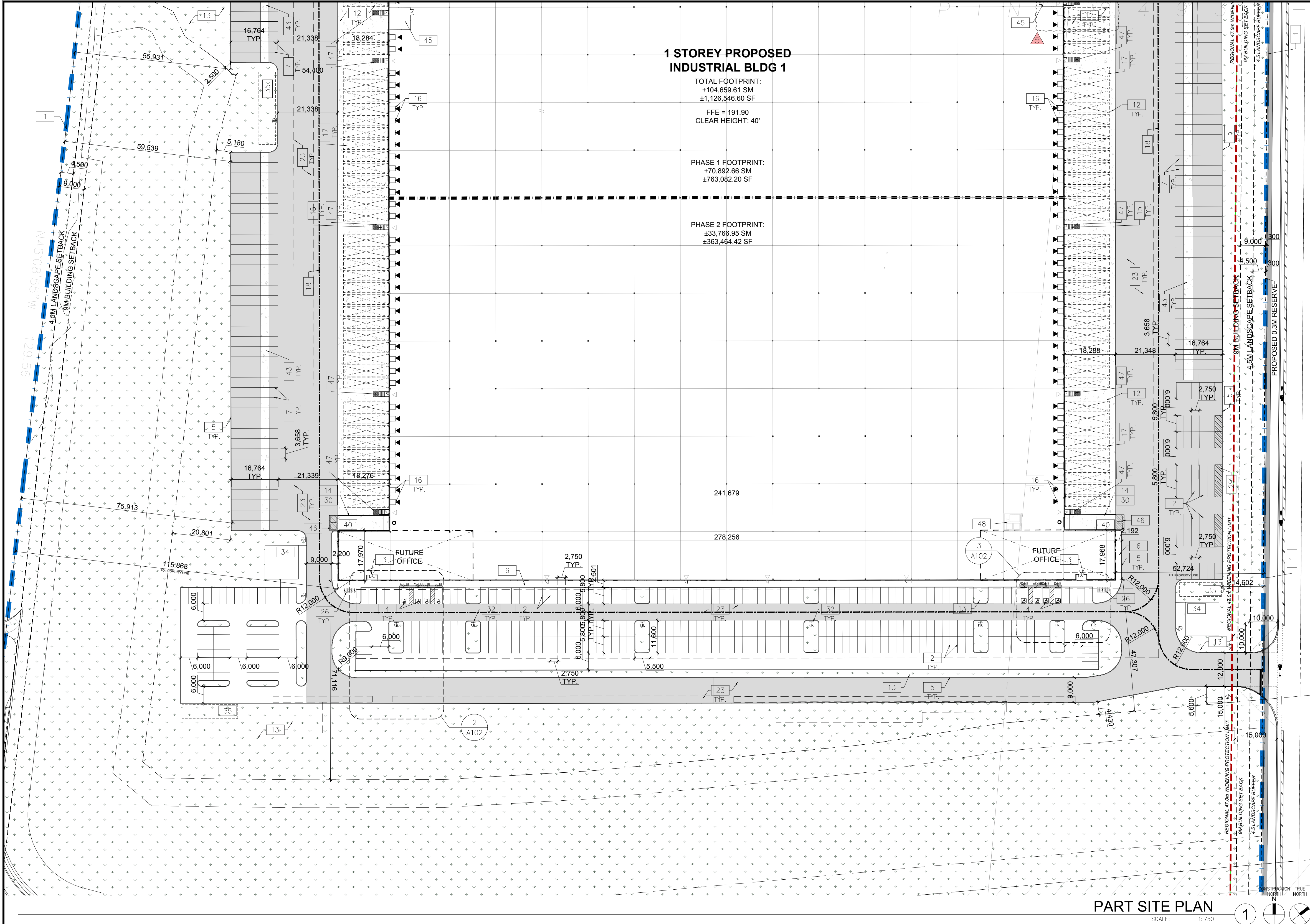
DRAWN BY: HW

JOB NO.: TOR21-0016-01

SHEET

A101

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB. AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

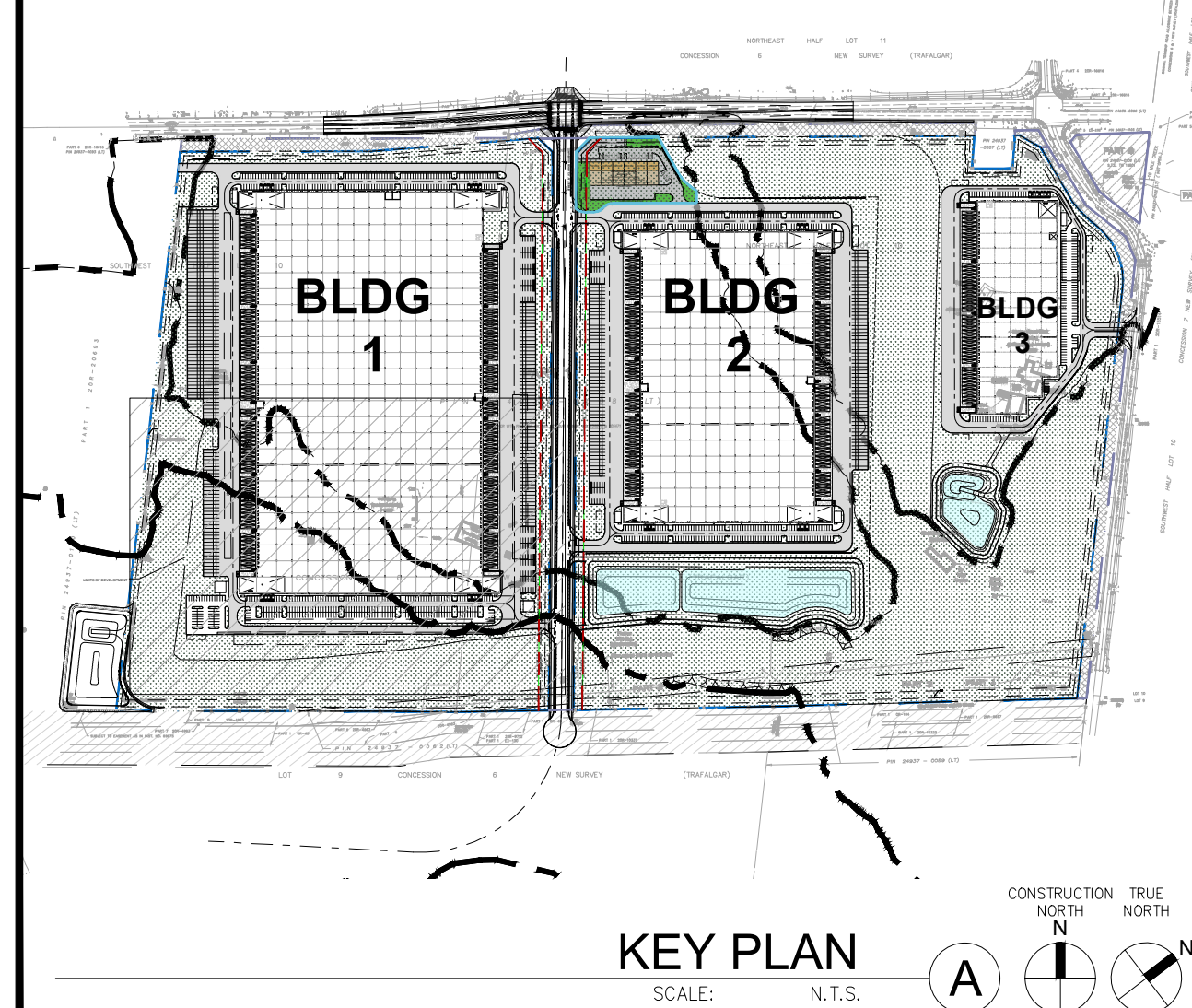


GENERAL NOTES

- PROPERTY LINE INCLUDING 0.30M RESERVE AND ULTIMATE ROAD WIDENING
- 2.75m x 5.8m PARKING STALL, PAINTED PARKING STRIPING PER TOWN OF MILTON'S STANDARDS. WITH 6M WIDE DOUBLE LOADED AISLE.
- PRINCIPAL ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE TYPE A STALL (3400x5800), TYPE B (2750x5800), OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF MILTON'S ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O
- TRAILER PARKING STALL - 3.66m X 16.76m
- ACCESSIBLE CURB RAMP AS PER DETAIL
- FIRE DEPARTMENT CONNECTION / SIAMASE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (MIN. 12.0m X 3.5m)
- FIRE ACCESS ROUTE W/ 12M TURNING RADIUS (-----)
- PROPOSED ELECTRICAL ROOM
- PROPOSED MECHANICAL ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
- 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
- PROPOSED STOP SIGN LOCATION
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES
- RETAINING WALL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- PROPOSED FIRE ROUTE SIGN LOCATION
- RESERVED
- PROPOSED AMENITY AREA
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- PROPOSED CHAIN-LINK FENCE
- CONCRETE/STEEL SAFETY BOLLARD
- SCREEN WALL
- PROPOSED PYLON SIGNAGE
- DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- PROPOSED NOISE WALL
- DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
- FUTURE SHIPPING OFFICE
- WASTE COLLECTION STAGING AREA. TO BE USED TO TEMPORARILY PLACE BINS FOR GARBAGE COLLECTION
- 2.20m CLEAR SPACE SETBACK
- FUTURE INTERNAL WASTE ROOMS

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- LANDSCAPE AREA
- DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS
- EXISTING PROPERTY BOUNDARY
- NEW PROPERTY BOUNDARY
- TRUCK LOADING DOCK DOOR
- KNOCK OUT PANEL
- MAN DOOR ENTRY
- EXIT DOOR LOCATION
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- 1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/A1.2
- PROPOSED CATCHBASIN
- DENOTES MANHOLE
- EXISTING HYDRO POLE
- CP PAINTED CARPOOL PARKING SPACE SYMBOL
- BFPSS BARRIER FREE PARKING SIGN
- BFPSSV BARRIER FREE PARKING SIGN WITH VAN TAB
- DRIVE-IN DOOR
- DSTOP NEW STOP SIGN
- DR.F.R. NEW FIRE ROUTE SIGN
- GM GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
- LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
- LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS
- E.V. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221

anatolia
TILE & STONE

**6728 SIXTH LINE,
MILTON**

6728 SIXTH LINE
MILTON, ONTARIO L9T 2Y3

PART SITE PLAN

DATE	REMARKS
2024-01-11	ISSUED FOR SPA
2024-09-27	RE-ISSUED FOR SPA
2024-12-09	RE-ISSUED FOR SPA COMMENTS
2025-01-29	ISSUED FOR COORDINATION
2025-02-14	ISSUED FOR COORDINATION

PA / PM: C.R.

DRAWN BY: HW

JOB NO.: TOR21-0016-01

SHEET

A102

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

WARE MALCOMB

6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221

ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

anatolia
TILE + STONE

6728 SIXTH LINE, MILTON

6728 SIXTH LINE
MILTON, ONTARIO L9T 2Y3

PART SITE PLAN

DATE	REMARKS
2024-01-11	ISSUED FOR SPA
2024-09-27	REISSUED FOR SPA
2024-12-09	REISSUED FOR SPA COMMENTS
2025-01-29	ISSUED FOR COORDINATION
2025-02-14	ISSUED FOR COORDINATION

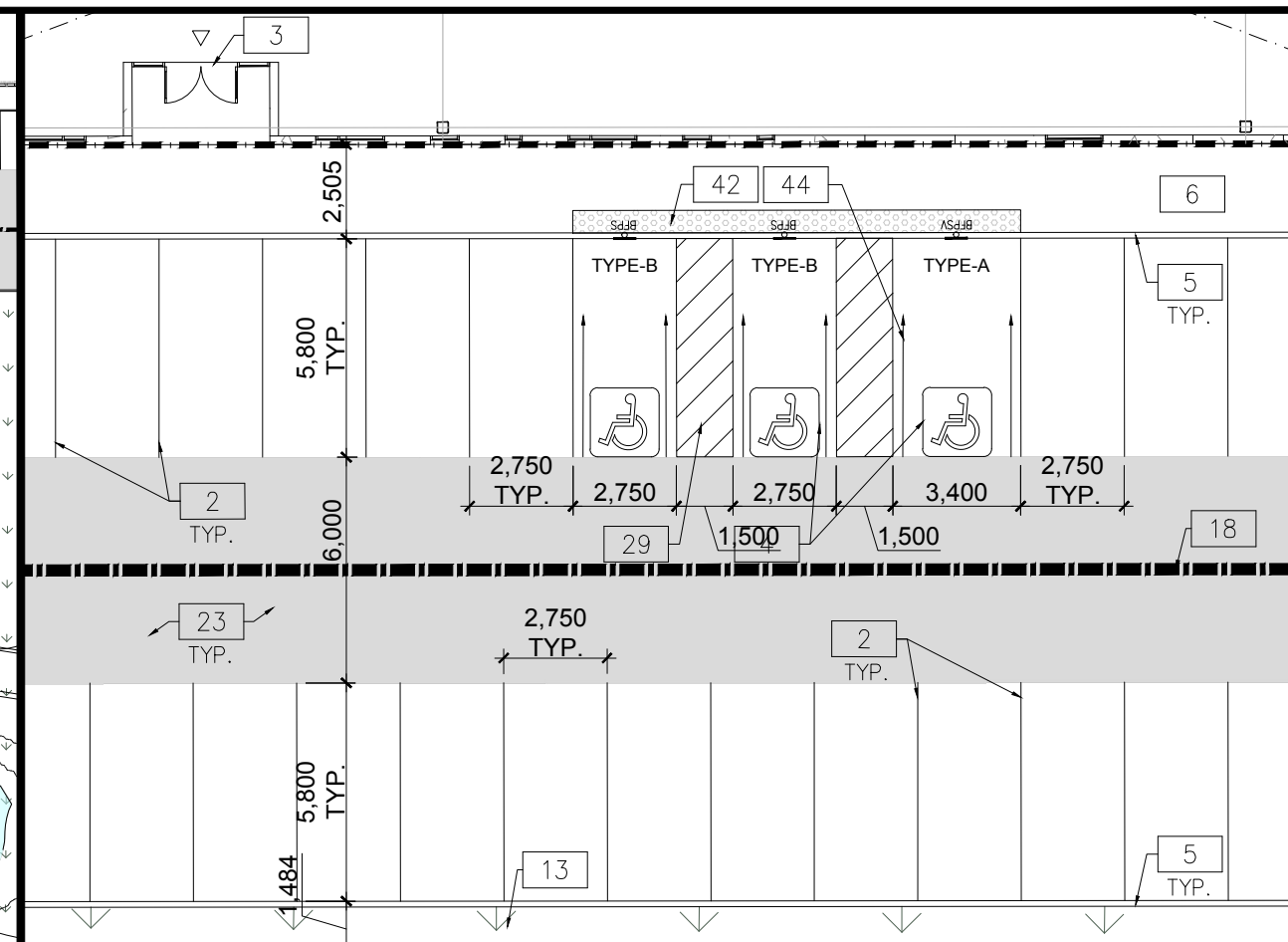
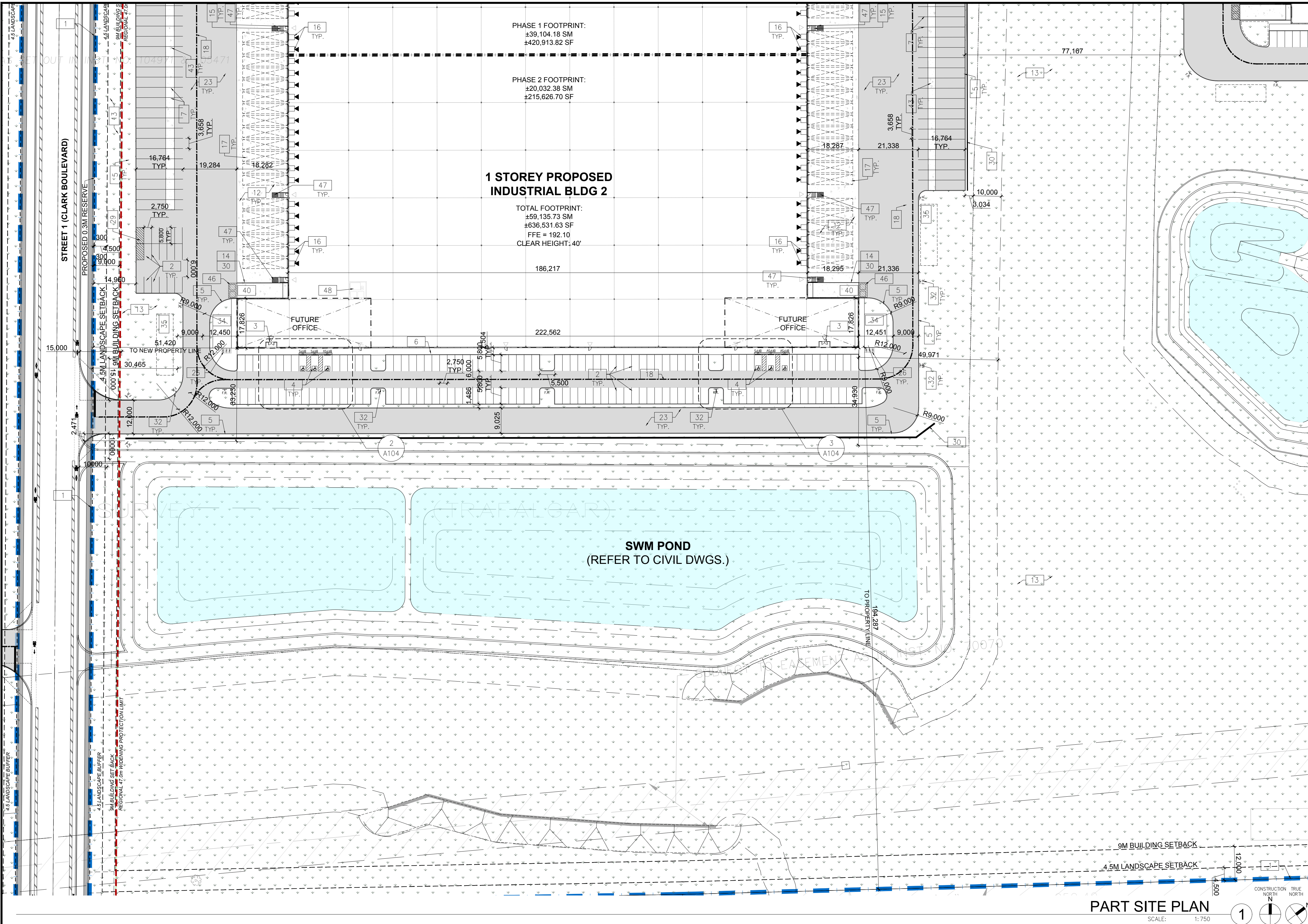
PA / PM: C.R.

DRAWN BY: HW

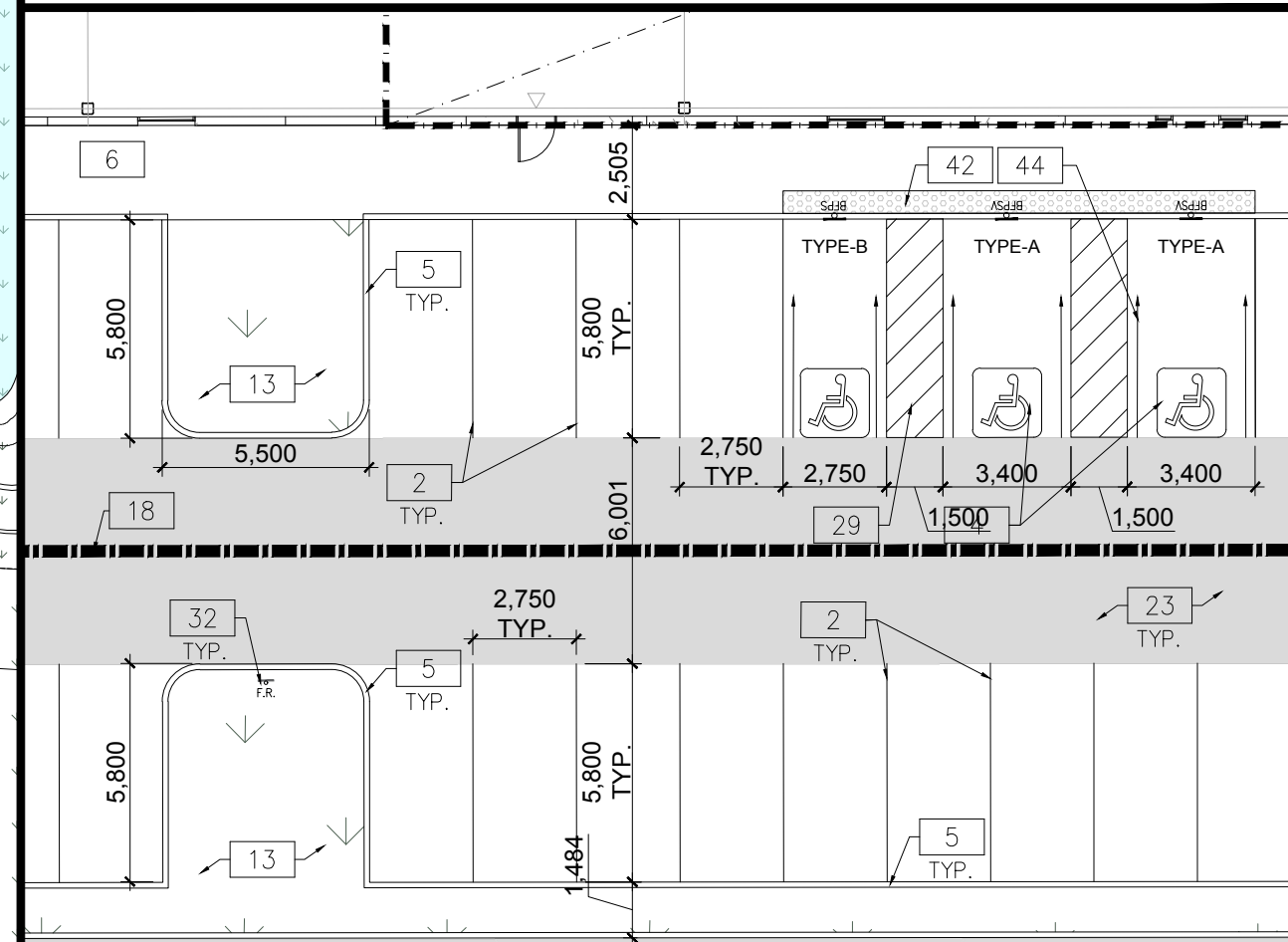
JOB NO.: TOR21-0016-01

SHEET

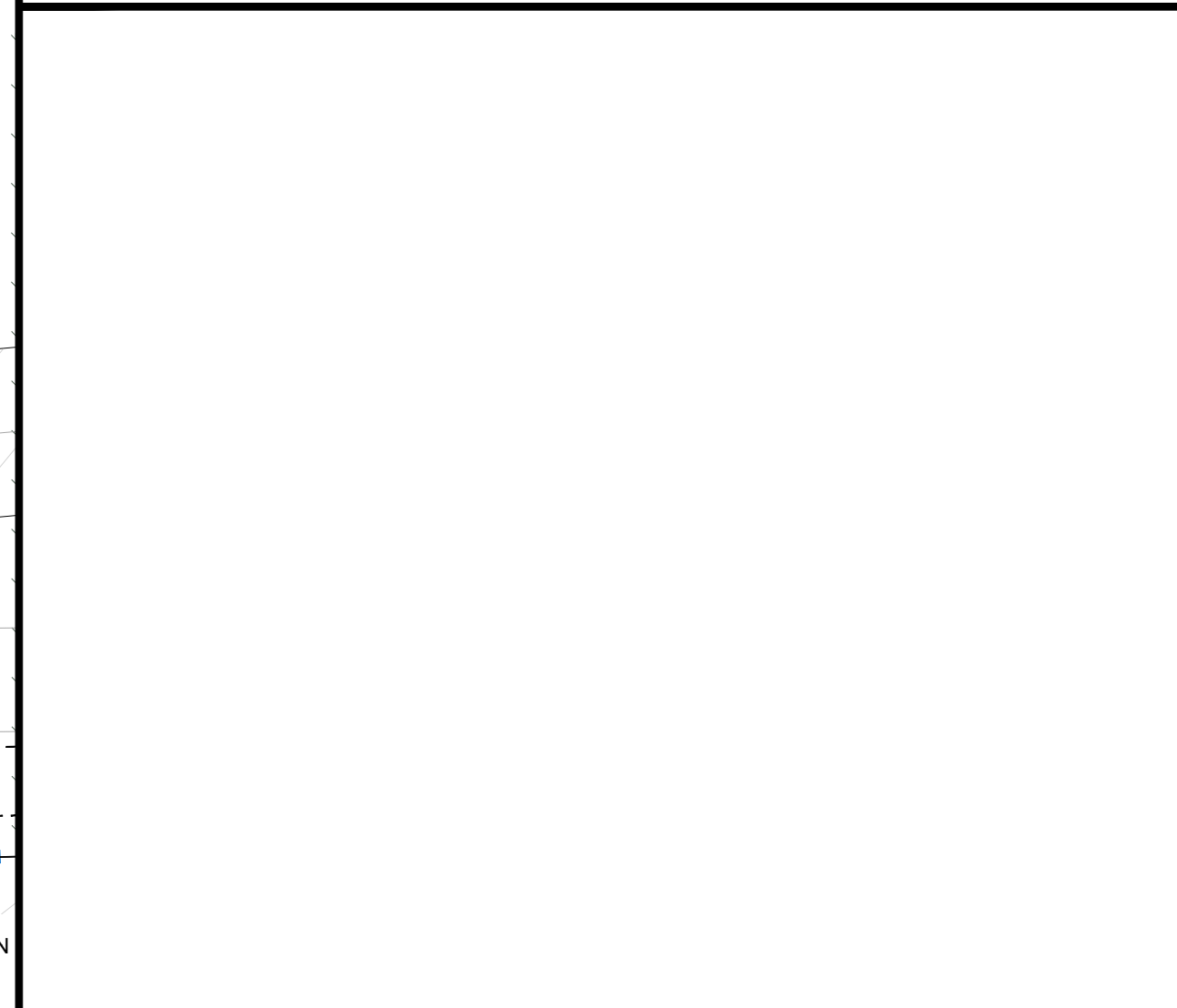
A104



PARKING DETAIL
SCALE: 1:200



PARKING DETAIL
SCALE: 1:200



KEY PLAN
SCALE: N.T.S.

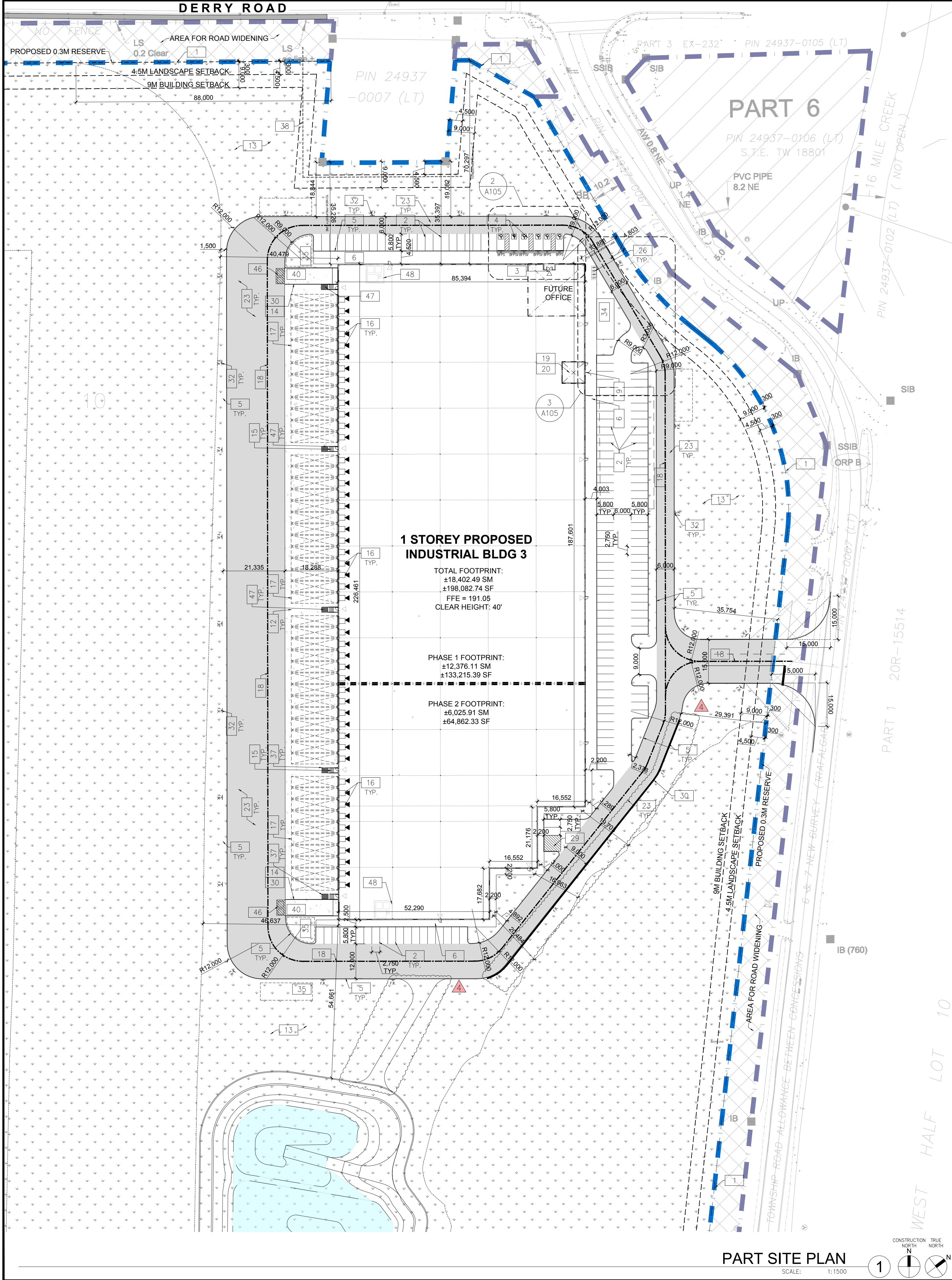
GENERAL NOTES

- PROPERTY LINE INCLUDING 0.30M RESERVE AND ULTIMATE ROAD WIDENING
- 2.75m x 5.8m PARKING STALL, PAINTED PARKING STRIPING PER TOWN OF MILTON'S STANDARDS. WITH 6M WIDE DOUBLE LOADED AISLE.
- PRINCIPAL ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE TYPE A STALLS (3400x5800), TYPE B (2750x5800), OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF MILTON'S ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O
- TRAILER PARKING STALL - 3.66m X 16.76m
- ACCESSIBLE CURB RAMP AS PER DETAIL
- FIRE DEPARTMENT CONNECTION / SIAMASE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (MIN. 12.0m X 3.5m)
- FIRE ACCESS ROUTE W/ 12M TURNING RADIUS
- PROPOSED ELECTRICAL ROOM
- PROPOSED MECHANICAL ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.8m WIDE PAINTED PEDESTRIAN PATHWAY
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
- 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
- PROPOSED STOP SIGN LOCATION
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES
- RETAINING WALL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- PROPOSED FIRE ROUTE SIGN LOCATION
- RESERVED
- PROPOSED AMENITY AREA
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- PROPOSED CHAIN-LINK FENCE
- CONCRETE/STEEL SAFETY BOLLARD
- SCREEN WALL
- PROPOSED PYLON SIGNAGE
- DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- PROPOSED NOISE WALL
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
- FUTURE SHIPPING OFFICE
- WASTE COLLECTION STAGING AREA. TO BE USED TO TEMPORARILY PLACE BINS FOR GARBAGE COLLECTION
- 2.20m CLEAR SPACE SETBACK
- FUTURE INTERNAL WASTE ROOMS

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- LANDSCAPE AREA
- DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS
- EXISTING PROPERTY BOUNDARY
- NEW PROPERTY BOUNDARY
- TRUCK LOADING DOCK DOOR
- KNOCK OUT PANEL
- EXIT DOOR LOCATION
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- 1500mm WIDE DEEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/A1.2
- PROPOSED CATCHBASIN
- DENOTES MANHOLE
- EXISTING HYDRO POLE
- CP PAINTED CARPOOL PARKING SPACE SYMBOL
- BFPS BARRIER FREE PARKING SIGN
- BFPSV BARRIER FREE PARKING SIGN WITH VAN TAB
- DRIVE-IN DOOR
- DSTOP NEW STOP SIGN
- DF.R. NEW FIRE ROUTE SIGN
- G.M. GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
- LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
- LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS
- E.V. PROPOSED ELECTRIC VEHICLE CHARGING STATIONS

W:\TOR\21\0016\01\Architectural\Cad\SD\0016_A15.dwg



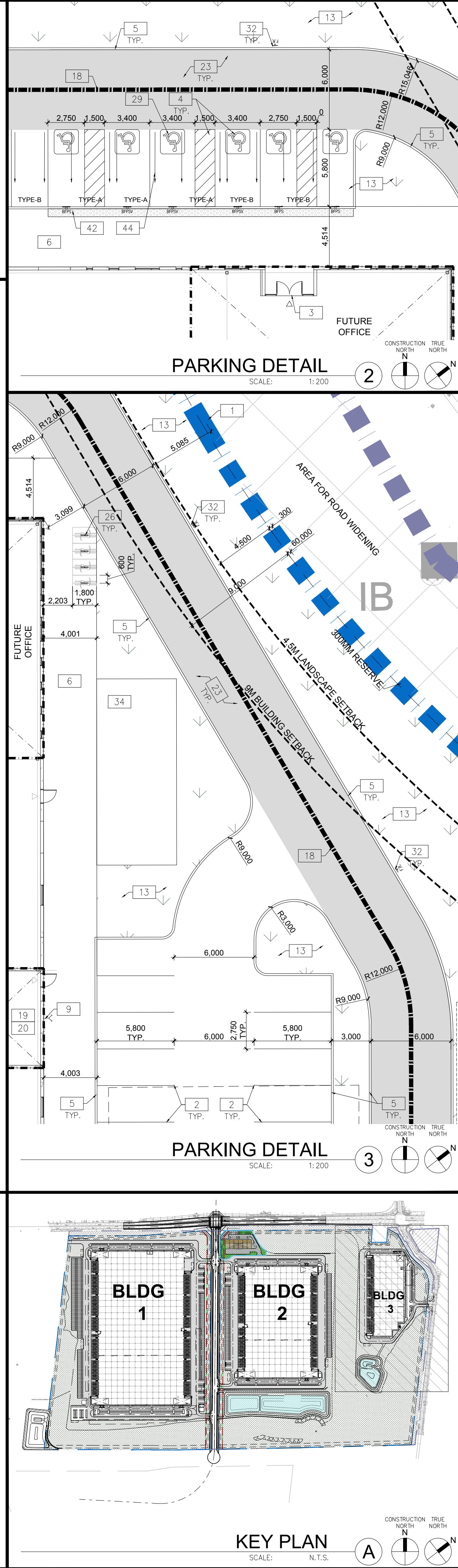
BLDG 3-Zoning Matrix		
Provision	Required (M1 Zone)	Proposed (M1-XX Zone)
Zoning Category	M1 Zone	M1-XX
Lot Frontage (min)	40.0 m	96.51m(66.05+30.51)
Lot Area (Block 3)	0.80 ha	60,346 m²
Gross Floor Area	N/A	18,402 m²
Lot Coverage (with municipal services)	No maximum	30.49%
Front Yard Setback (Min)	9.0 m	70.34 m
Interior Side Yard Setback (Min)	3.0 m	40.48 m
Exterior Side Yard Setback (Min)	9.0 m	14.18 m
Rear Yard Setback (Min)	12.0 m	304.87 m
Landscape Open Space (min)	10%	39.60%
Number of Parking Spaces (min)	141	140
Number of Accessible Parking Space (min)	6	6
Number of Loading Spaces (min)	5	51
Bicycle Parking (min)	4	8
Building Height (max)	15 m	15.00 m
Dock Doors	-	49

GENERAL NOTES

- PROPERTY LINE INCLUDING 0.30M RESERVE AND ULTIMATE ROAD WIDENING
- 2.75m x 5.8m PARKING STALL, PAINTED PARKING STRIPING PER TOWN OF MILTON'S STANDARDS. WITH 6M WIDE DOUBLE LOADED AISLE.
- PRINCIPAL ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE TYPE A STALLS (3400X5800), TYPE B (2750X5800), OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF MILTON'S ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- MIN. 1500mm WIDE SIDEWALK TYPICAL U.N.O
- TRAILER PARKING STALL - 3.66m X 16.76m
- ACCESSIBLE CURB RAMP AS PER DETAIL
- FIRE DEPARTMENT CONNECTION / SIAMISE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD
- 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (MIN. 12.0m X 3.5m)
- FIRE ACCESS ROUTE W/ 12M TURNING RADIUS
- PROPOSED ELECTRICAL ROOM
- PROPOSED MECHANICAL ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. SEE CIVIL DWGS.
- 1.8m WIDE PAINTED PEDESTRIAN PATHWAY
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
- 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8mX0.6M PER SPACE
- PROPOSED STOP SIGN LOCATION
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES
- RETAINING WALL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- PROPOSED FIRE ROUTE SIGN LOCATION
- RESERVED
- PROPOSED AMENITY AREA
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- PROPOSED CHAIN-LINK FENCE
- CONCRETE/STEEL SAFETY BOLLARD
- SCREEN WALL
- PROPOSED PYLON SIGNAGE
- DRIVE-IN RAMP WITH GALVANIZED GUARDRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- PROPOSED NOISE WALL
- DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
- FUTURE SHIPPING OFFICE
- WASTE COLLECTION STAGING AREA. TO BE USED TO TEMPORARILY PLACE BINS FOR GARBAGE COLLECTION
- 2.20m CLEAR SPACE SETBACK
- FUTURE INTERNAL WASTE ROOMS

SITE LEGEND

	NEW HEAVY DUTY PAVEMENT (HATCHED)		PAINTED CARPOOL PARKING SPACE SYMBOL
	LANDSCAPE AREA		BARRIER FREE PARKING SIGN WITH VAN TAB
	DETECTABLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.		BARRIER FREE PARKING SIGN WITH VAN TAB
	FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS		DRIVE-IN DOOR
	EXISTING PROPERTY BOUNDARY		NEW STOP SIGN
	NEW PROPERTY BOUNDARY		NEW FIRE ROUTE SIGN
	TRUCK LOADING DOCK DOOR		GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
	KNOCK OUT PANEL		LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
	MAN DOOR ENTRY		LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS
	EXIT DOOR LOCATION		PROPOSED ELECTRIC VEHICLE CHARGING STATIONS
	FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)		
	PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)		
	EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)		
	1500mm WIDE DEPRESSIONED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL 4/A1.2		
	PROPOSED CATCHBASIN		
	DNOTES MANHOLE		
	EXISTING HYDRO POLE		



WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

6220 Highway 7, Suite 300
Vaughan, ON L4H 0R1, Canada
P 905.760.1221

**6728 SIXTH LINE,
MILTON**

6728 SIXTH LINE
MILTON, ONTARIO L9T 2Y3

PART SITE PLAN

DATE	REMARKS
2024-01-11	ISSUED FOR SPA
2024-09-27	REISSUED FOR SPA
2024-12-09	REISSUED FOR SPA COMMENTS
2025-01-29	ISSUED FOR COORDINATION
2025-02-14	ISSUED FOR COORDINATION

PA / PM: C.R.

DRAWN BY: HW

JOB NO.: TOR21-0016-01

SHEET

A105