

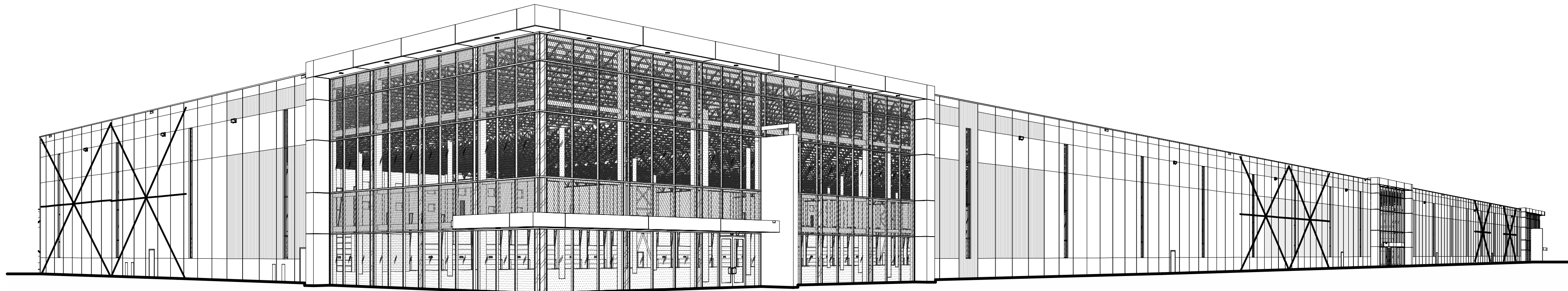
OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: ANATOLIA 9151
 LOCATION: 9151 HUNTINGTON RD., VAUGHAN, ONTARIO
 BUILDING 2

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9	BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> ADDITION 11.1 TO 11.4 1.1.2 (A) 1.1.2 (A) & 9.10.1.3 <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION	
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2	3.1.2.1.(1) 9.10.2
3	BUILDING AREA (sq.m.) PHASE 2: 8099.68 m² EXISTING PHASE 1: 16,199.36 m² TOTAL: 24,299.04 m²	1.4.1.2 (A) 1.4.1.2 (A)
4	GROSS AREA (sq.m.) PHASE 2: 8099.68 m² EXISTING PHASE 1: 16,199.36 m² TOTAL: 24,299.04 m²	1.4.1.2 (A) 1.4.1.2 (A)
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0	1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1	3.2.2.10 & 3.2.5.5 9.10.20
7	BUILDING CLASSIFICATION(S) 3.2.267.GROUP F, DIVISION 2 ANY AREA, ANY AREA	3.2.2.20-83 9.10.2
8	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX INDEX
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9 N/A
10	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4 9.10.18
11	WATER SERVICE / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	3.2.5.7 N/A
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6 N/A
13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83 9.10.6
14	MEZZANINE(S) AREA m2 0	3.2.1.1.(3)-(8) 9.10.4.1
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m2 / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OFFICE: OCCUPANCY: D LOAD (PERSONS): TBD WAREHOUSE: OCCUPANCY: F2 LOAD (PERSONS): TBD TOTAL: OCCUPANCY: D / F2 LOAD (PERSONS): <300	3.1.17 9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8 9.5.2
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3 (4)
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS: 2 HOURS ROOF: 0 HOURS MEZZANINE: 1 HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS ROOF: 0 HOURS MEZZANINE: 1 HOURS	LISTED DESIGN No. OR DESCRIPTION (SG-2) 3.2.2.20-83 & 3.2.1.4 9.10.8 9.10.9
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3 9.10.14
	WALL AREA OF EBF (sq. m.) LD. (m) LH OR HL PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN No. OR DESCRIP. COMB. CONSTR. COMB. CONSTR. NONC. CLADDING NON-COMB. CONSTRUCTION	
	NORTH 1503.40 13.19 - 80% 22% 1 HOUR PRECAST INSULATED CONCRETE PANEL NO NO COMBUSTIBLE YES	
	SOUTH 1,516.61 10.22 - 50% 18.4% 1 HOUR NO NO COMBUSTIBLE YES	
	EAST - >15 - - - - - NO NO COMBUSTIBLE YES	
	WEST - >15 - - - - - NO NO COMBUSTIBLE YES	
	NOTE: CALCULATION FOR BUILDING LENGTH (PHASE 1 AND PHASE 2).	

ANATOLIA 9151

700 ANATOLIAN DRIVE VAUGHAN, ONTARIO

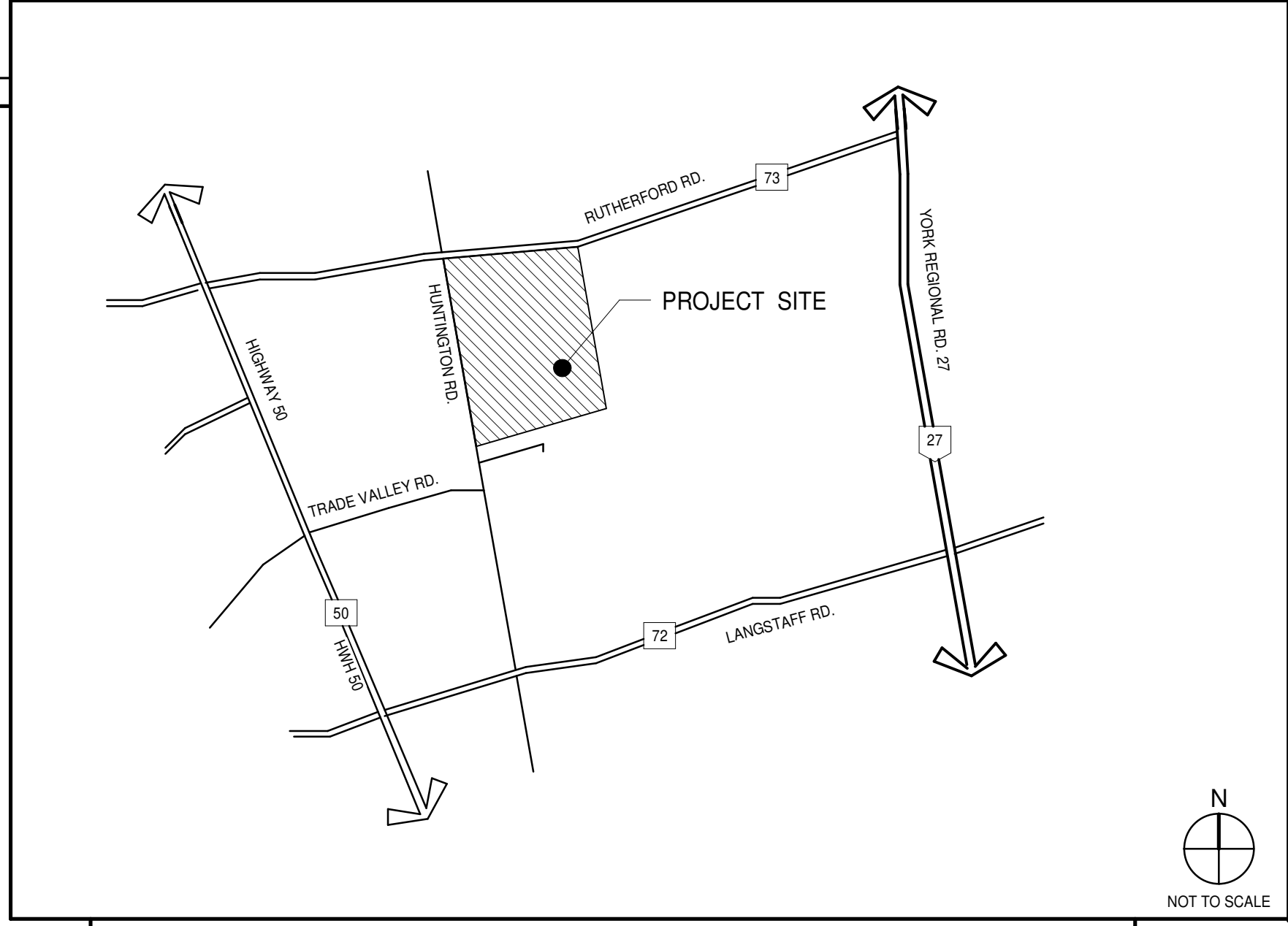


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anatolia
 CAPITAL CORP

ANATOLIA 9151
 700 ANATOLIAN DRIVE
 VAUGHAN, ONTARIO

VICINITY MAP



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 SCHAEFFERS CONSULTING ENGINEERS
 6 RONROSE DRIVE
 CONCORD, ONTARIO, L4K 4R3
 FEDOR TCHOURLKINE, P. ENG.
 PH: (905) 738-6100
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SHEET INDEX

ARCHITECTURAL

A0.1	TITLE SHEET
A1.0	OVERALL SITE PLAN
A1.0a	OVERALL SITE PLAN
A2.2	BUILDING 2 - FLOOR PLAN
A3.2	BUILDING 2 - ROOF PLAN
A5.1a	BUILDING 2 - BUILDING SECTIONS
A4.2	BUILDING 2 - EXTERIOR ELEVATIONS
A4.2a	BUILDING 2 - EXTERIOR ELEVATIONS

ARCHITECTURAL SHEET COUNT: 8

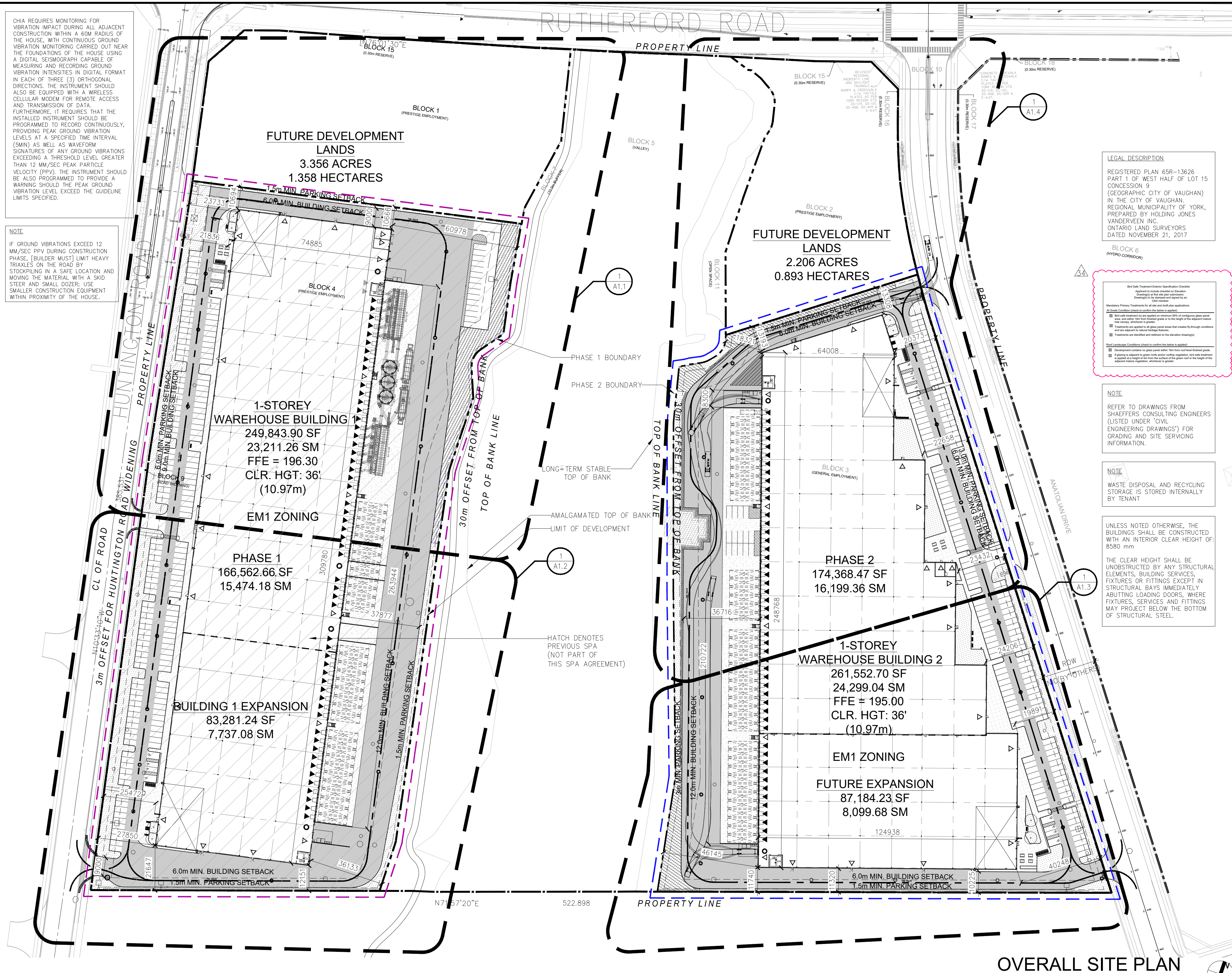
TOTAL SHEETS
 8

DATE	REMARKS
03-04-2020	50% CLIENT PROGRESS REVIEW
17-04-2020	ISSUE FOR SPA
06-03-2020	ISSUED FOR COORDINATION
2023-03-14	SPA SET
2023-04-03	ISSUED FOR SPA AMENDMENT
2023-07-28	RE-ISSUED FOR SPA

PA/PM: H.B.
 DRAWN BY: D.V./O.T.
 JOB NO.: TOR18-0077-00

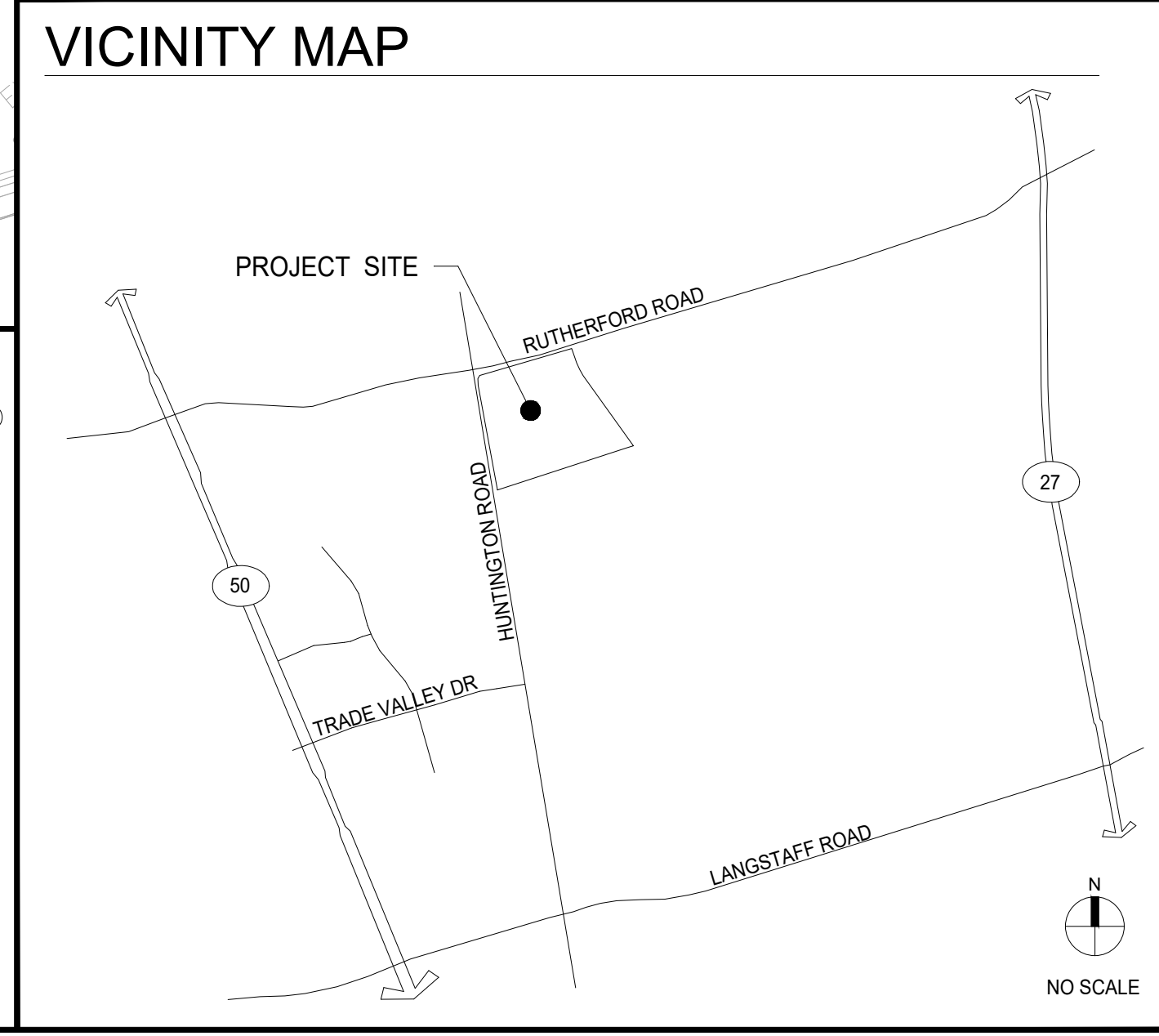
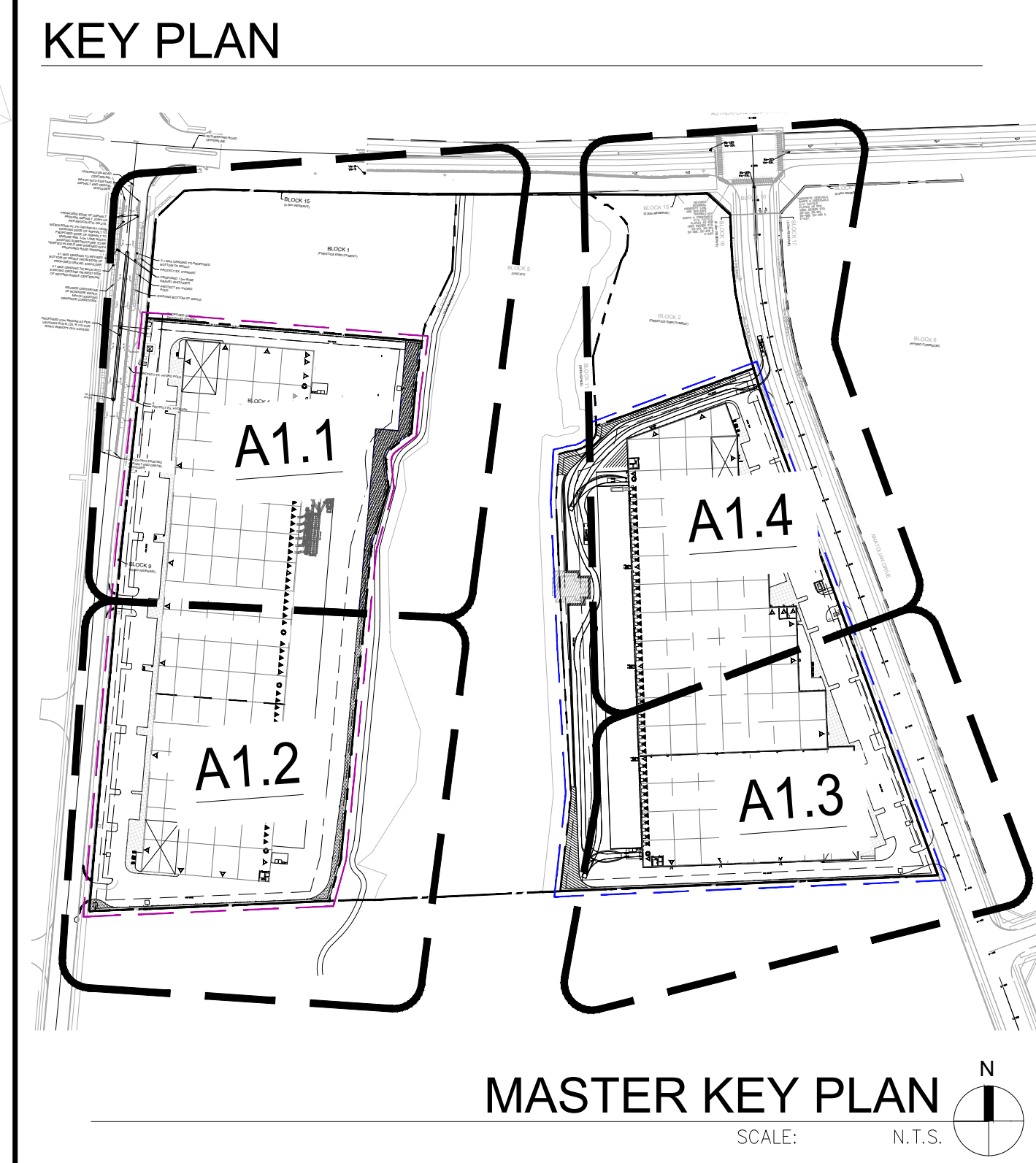
SHEET
A0.1

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SITE STATISTICS TABLE

ITEM	BUILDINGS PROPOSED		BUILDINGS REQUIRED	
	EM1	EM1	EM1	EM1
TOTAL LOT AREA PHASE 1 & 2 (BLOCK 3 & 4)	96,121 SM (9.612 HA)		3,000 m ² MINIMUM (0.3 ha)	
FUTURE DEVELOPMENT AREA (HECTARES)	22,470 SM (2.247 HA)		3,000 m ² MINIMUM (0.3 ha)	
GROUND FLOOR AREA (SQ. M)	47,510.30		N/A	
GROSS FLOOR AREA (SQ. M)	47,510.30		N/A	
LOT COVERAGE	49.33%		60% MAXIMUM FOR SITE	
LANDSCAPE COVERAGE	10,962.05 SM (11.38%)		MIN 5% OF LOT AREA	
PAVING AREA	36,480.55 SM (37.88%)			
SNOW STORAGE AREA (PHASE 1 + 2)	2,101.09sm (2.18%)		MIN. 2% OF LOT AREA	
NUMBER OF PARKING SPACES WAREHOUSE (47,510.30sm); 0.7 spaces per 100 SM GFA	353 STALLS		334 STALLS	
NUMBER OF HANDICAPPED PARKING SPACES	15 STALLS (7) TYPE 'A', (8) TYPE 'B'		14 STALLS MIN. (7) TYPE 'A', (7) TYPE 'B'	
NUMBER OF LOADING SPACES	98 SPACES		12 SPACES	
PARKING STALL DIMENSIONS (M)	2.7m X 6.0m		2.7m X 6.0m	
HANDICAPPED PARKING STALL DIMENSIONS	A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m		A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m	
LOADING SPACE DIMENSIONS (M)	3.5m X 9.0m		3.5m X 9.0m	
BUILDING HEIGHT	10.97m		15m MAXIMUM MAY EXCEED, PROVIDED THE SIDE YARD IS INCREASE BY 0.3M PER 0.6M HT. ADDED	
1) PRINCIPLE BUILDINGS				
2) ACCESSORY BUILDINGS				
BIKE RACKS	36		N/A	



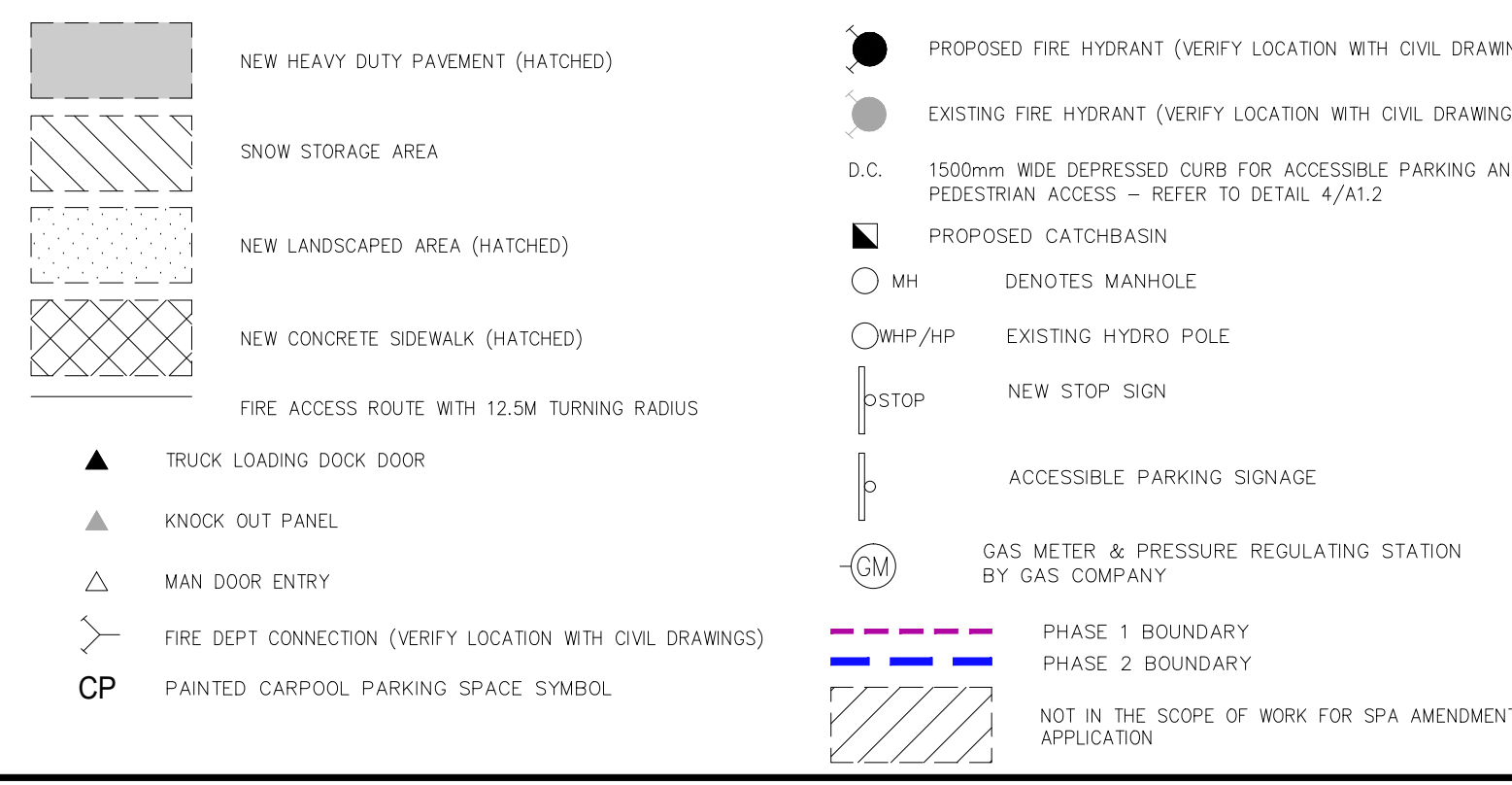
GENERAL NOTES

- PROPERTY LINE
- 2700x6000 PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPPING PER CITY STANDARDS, TO HAVE (2) TYPE B (2400x6000), (2) TYPE A STALLS (3400x6000), OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO CITY OF VAUGHAN ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- ENTRY PLAZA - SEE LANDSCAPE DWGS.
- CONCRETE FILLED STEEL BOLLARDS
- FIRE DEPARTMENT CONNECTION / SIAMSE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- 1.5m WIDE SIDEWALK

- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- EXISTING HERITAGE BUILDING - TO BE PROTECTED BY A 3.0m BUFFER ON ALL SIDES.
- FIRE ACCESS ROUTE W/ 12.5M TURNING RADIUS ()
- PROPOSED ELECTRICAL ROOM
- PROPOSED SPRINKLER ROOM
- CURB RADIUS AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.5m WIDE PAINTED ASPHALT PATHWAY - REFER TO A1.5
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- RETAINING WALL - REFER TO STRUC./GRADING DWGS
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS PROVIDED AT PRINCIPLE ENTRIES, MIN. 1.8mX0.6M PER SPACE (DETAIL 2/A1.5)
- PROPOSED STOP SIGN LOCATION - REFER TO A1.5 FOR DETAILS
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES - REFER TO A1.5
- PUBLIC ENTRANCE TO TRAILHEAD AT FUTURE PUBLIC TRAIL
- PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS
- 1.5m WIDE SIDEWALK

- 3.0m CONCRETE WIDE MULTI-USE PATH
- PROPOSED AMENITY AREA - REFER TO LANDSCAPE DWGS
- EXISTING HERITAGE BUILDING - TO BE PROTECTED BY A 3.0m BUFFER ON ALL SIDES.
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- CARPOOL PARKING SPACES 2700x6000MM W/ SIGNAGE - REFER TO DETAIL 3/A1.5
- EXISTING UTILITIES TO BE REMOVED OR RELOCATED INCL. FROM ROAD WIDENING WORKS - TO BE CONFIRMED W/ FUTURE SURVEY INTERIM ASPHALT CURB TO ALIGN WITH CURRENT HUNTINGTON ROAD EDGE OF ASPHALT - REFER TO CIVIL DWGS
- ULTIMATE CURBS TO ALIGN WITH FUTURE HUNTINGTON ROAD WIDENING
- FIRE ROUTE SIGNAGE INSTALLED PER VAUGHAN STANDARDS. SPACED EVERY 30M - REFER TO SHEET A1.5.
- RB-93 PERMIT SIGNAGE - REFER TO SHEET A1.5.
- DETECTABLE TACTILE WARNING SURFACE, CONFIRMING TO 2012 O.B.C.
- PROPOSED GAS METER - REFER TO MECH. DWGS
- LOADING PAD AND WASTE COLLECTION BINS. PAD TO BE MIN. 9.3 x 6.0m AND HAVE MIN. 300mm COMPACTED 20mm CRUSHER RUN-LIMESTONE AND FINISHED TO MIN. 200mm DEPTH, OR ACCEPTABLE ALTERNATIVE AS PER CITY REQUIREMENTS. GRADE TO NOT EXCEED 2% - REFER TO CIVIL DWGS.
- INTERNAL GARBAGE STORAGE WITH VENTILATION AND APPROPRIATE ODOUR CONTROL REQ. FOR THE WASTE STORAGE FACILITY

SITE LEGEND



WARE MALCOMB
Leading Design for Commercial Real Estate

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interiors
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of
ARCHITECTS
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ANA CATALINA ROCHA
LICENCE
7266

ANATOLIA 9151
700 ANATOLIAN DRIVE
VAUGHAN, ONTARIO, CANADA

OVERALL SITE PLAN

DATE	REMARKS
2022-11-15	ISSUED FOR SITE INSTRUCTION 14
2022-11-23	ISSUED FOR BUILDING PERMIT EXTERIOR SCOPE
2023-02-24	REISSUED FOR SPA
2023-04-04	REISSUED FOR SPA
2023-04-25	SP. #04-RT
2023-04-25	ISSUED FOR SPA AMENDMENT
2023-07-28	RE-ISSUED FOR SPA

PA / PM: B.GHOULZADEH
DRAWN BY: H.B
JOB NO.: TOR18-0077-00

SHEET
A1.0

SITE STATISTICS TABLE

ITEM	BUILDING 2 PROPOSED	BUILDING 2 REQUIRED
ZONING CATEGORY	EM1	EM1
LOT AREA (BLOCK 3)	4,668 HA (46,677 m ²)	3,000 m ² MINIMUM (0.3 ha)
FUTURE LOT AREA (HECTARES)	2,247 HA (22,470 m ²)	3,000 m ² MINIMUM (0.3 ha)
GROUND FLOOR AREA (SQ. M)	24,299.26	N/A
GROSS FLOOR AREA (SQ. M)	24,299.26	N/A
LOT COVERAGE	52.06%	60% MAXIMUM FOR SITE
FRONT YARD SETBACK (M)	19.89m	6.0m (East)
INT. SIDE YARD SETBACK (M)	10.22m	6.0m (South)
EXT. SIDE YARD SETBACK (M)	N/A	6.0m (N/A)
REAR YARD SETBACK (M)	18.32	12.0m (West)
LANDSCAPE COVERAGE (NET EXCLUDING SETBACK FROM 10m BUFFER)	6,338.45 (13.58%)	MIN 5% OF LOT AREA
PAVING AREA	16,039.29 (34.36%)	
SNOW STORAGE AREA (PHASE 2)	932.83m (2.00%)	MIN. 2% OF LOT AREA
NUMBER OF PARKING SPACES WAREHOUSE (24,299.04sqm): 0.7 spaces per 100-SQ GFA	174 STALLS	171 STALLS
NUMBER OF HANDICAPPED PARKING SPACES (1 + 3% OF TOTAL)	8 STALLS (4) TYPE 'A', (4) TYPE 'B'	7 STALLS MIN. (4) TYPE 'A', (3) TYPE 'B'
NUMBER OF LOADING SPACES	40 SPACES	6 SPACES
PARKING STALL DIMENSIONS (M)	2.7m X 6.0m	2.7m X 6.0m
HANDICAPPED PARKING STALL DIMENSIONS	A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m	A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m
LOADING SPACE DIMENSIONS (M)	3.5m X 14.0m	3.5m X 9.0m
BUILDING HEIGHT i) PRINCIPLE BUILDINGS	10.97m	15m MAXIMUM MAY EXCEED, PROVIDED THE SIDE YARD IS INCREASE BY 0.3M PER 0.6M HT. ADDED
BIKE RACKS	20	N/A

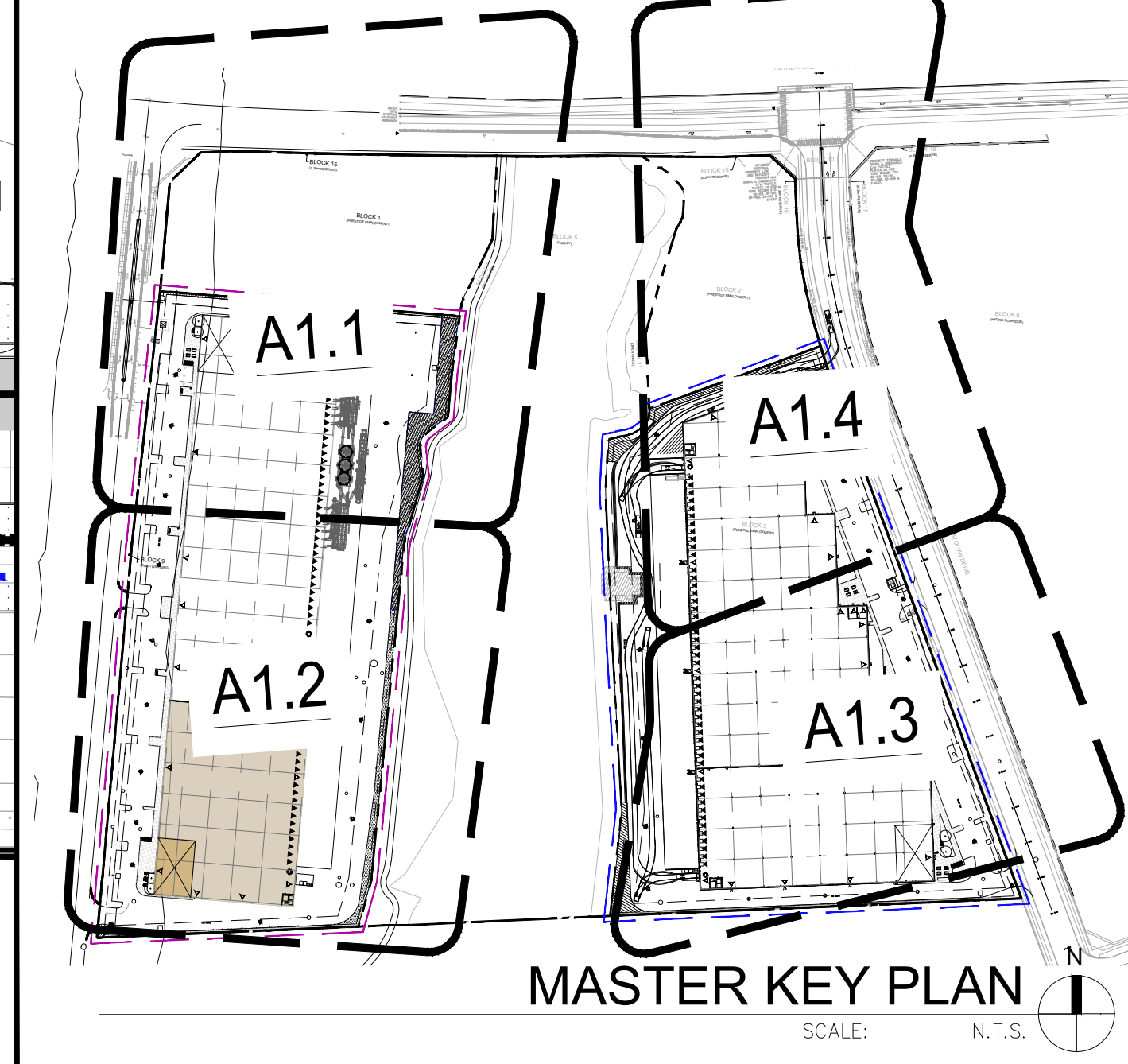
GENERAL NOTES

- PROPERTY LINE
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- TYPICAL SHARED ACCESSIBLE PARKING STALLS. TO HAVE (2) TYPE B STALLS (2400x6000), (2) TYPE A STALLS (3400x6000), OR ONE OF EACH. 1500mm PATH STRIP BETWEEN - REFER TO CITY OF VAUGHAN ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- ENTRY PLAZA - SEE LANDSCAPE DWGS.
- CONCRETE FILLED STEEL BOLLARDS
- FIRE DEPARTMENT CONNECTION / SIAMASE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD
- 1.5m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS. EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (3.5m x 9m)
- FIRE ACCESS ROUTE W/ 12.5M TURNING RADIUS (---)
- PROPOSED ELECTRICAL ROOM
- PROPOSED SPRINKLER ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.5m WIDE PAINTED ASPHALT PATHWAY - REFER TO A1.5
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT.
- RETAINING WALL - REFER TO STRUC./GRADING DWGS
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS PROVIDED AT PRINCIPLE ENTRIES. MIN. 1.8mx0.6m PER SPACE (DETAIL 2/A1.5)
- PROPOSED STOP SIGN LOCATION - REFER TO A1.5 FOR DETAILS
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES - REFER TO A1.5
- PUBLIC ENTRANCE TO TRAILHEAD AT FUTURE PUBLIC TRAIL
- PRECAST SCREEN WALL TO BE INSTALLED ABOVE RETAINING WALL - REFER TO STRUC. DWGS
- 1.5m WIDE SIDEWALK
- 3.0m CONCRETE WIDE MULTI-USE PATH
- PROPOSED AMENITY AREA
- EXISTING HERITAGE BUILDING - TO BE PROTECTED BY A 3.0m BUFFER ON ALL SIDES.
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- CARPOOL PARKING SPACES 2700x6000MM W/ SIGNAGE - REFER TO DETAIL 3/A1.5
- EXISTING UTILITIES TO BE REMOVED OR RELOCATED INCL. FROM ROAD WIDENING WORKS - TO BE CONFIRMED W/ SURVEY
- FIRE ROUTE SIGNAGE INSTALLED PER VAUGHAN STANDARDS, SPACED EVERY 30M - REFER TO SHEET A1.5.
- RB-93 PERMIT SIGNAGE - REFER TO SHEET A1.5.
- DETECTIBLE TACTILE WARNING SURFACE, CONFIRMING TO 2012 O.B.C.
- CONCRETE JERSEY BARRIERS
- LOADING PAD AND WASTE COLLECTION BINS. PAD TO BE MIN. 9.3 x 6.0m AND HAVE MIN. 300mm COMPACTED 20mm CRUSHER RUN-LIMESTONE AND FINISHED TO MIN. 200mm DEPTH, OR ACCEPTABLE ALTERNATIVE AS PER CITY REQUIREMENTS. GRADE TO NOT EXCEED 2% - REFER TO SWE-DWGS
- INTERNAL GARBAGE STORAGE WITH VENTILATION AND APPROPRIATE ODOUR CONTROL REQ. FOR THE WASTE STORAGE FACILITY

SITE LEGEND

	NEW HEAVY DUTY PAVEMENT (HATCHED)		NEW STOP SIGN
	SNOW STORAGE AREA		DENOTES MANHOLE
	NEW LANDSCAPED AREA (HATCHED)		PROPOSED CATCHBASIN
	NEW CONCRETE SIDEWALK (HATCHED)		ACCESSIBLE PARKING SIGNAGE
	FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS		GAS METER & PRESSURE REG. STATION BY GAS COMPANY
	TRUCK LOADING DOCK DOOR		PAINTED CARPOOL PARKING SPACE SYMBOL
	KNOCK OUT PANEL		PHASE 1 BOUNDARY
	MAN DOOR ENTRY		PHASE 2 BOUNDARY
	FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)		PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
	EXISTING HYDRO POLE		EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)

KEY PLAN



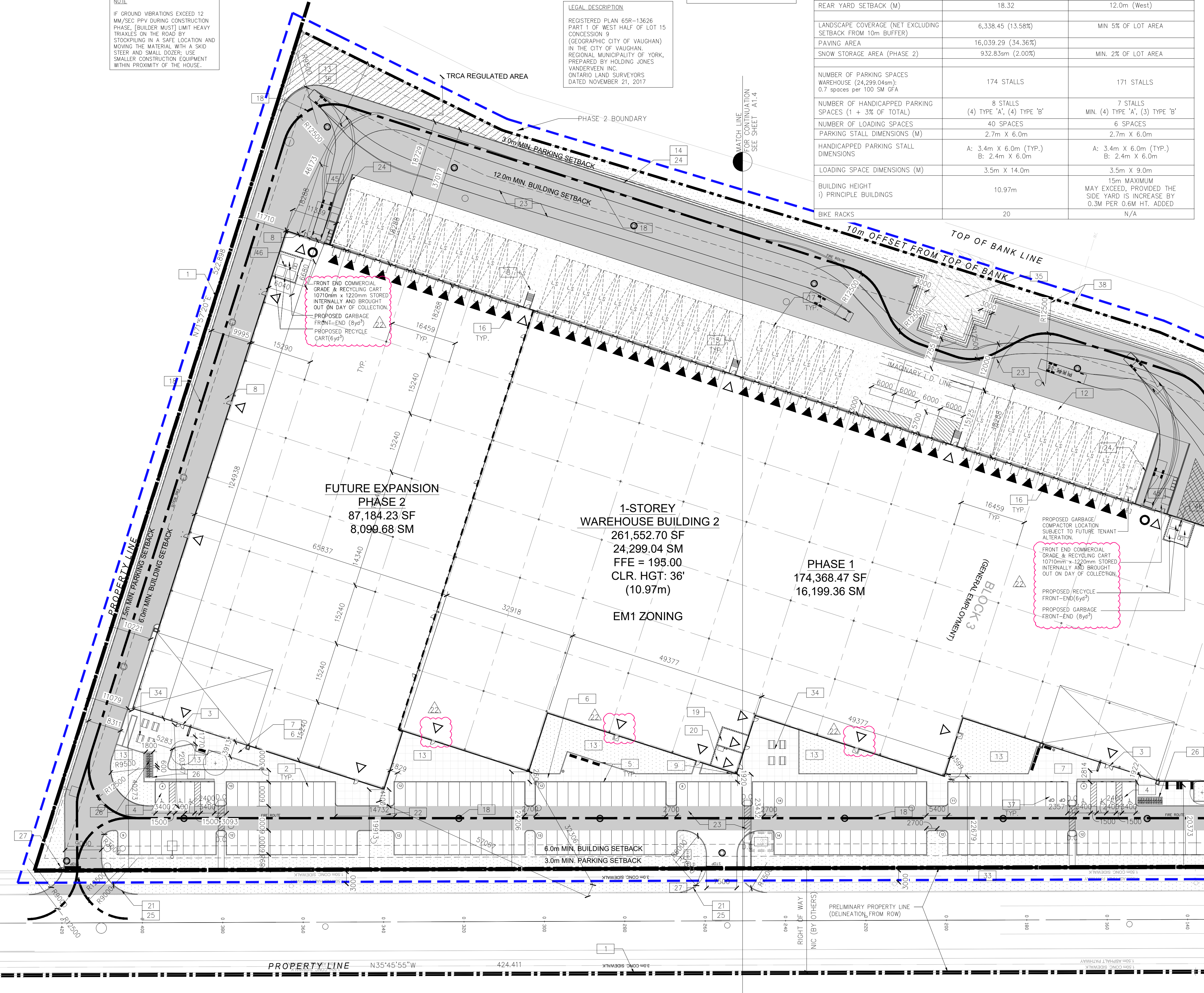
CHIA REQUIRES MONITORING FOR VIBRATION IMPACT DURING ALL ADJACENT CONSTRUCTION WITHIN A 60M RADIUS OF THE HOUSE, WITH CONTINUOUS GROUND VIBRATION MONITORING CARRIED OUT NEAR THE FOUNDATIONS OF THE HOUSE USING A DIGITAL SEISMOGRAPH CAPABLE OF MEASURING AND RECORDING GROUND VIBRATION INTENSITIES IN DIGITAL FORMAT IN EACH OF THREE (3) ORTHOGONAL DIRECTIONS. THE INSTRUMENT SHOULD ALSO BE EQUIPPED WITH A WIRELESS CELLULAR MODEM FOR REMOTE ACCESS AND TRANSMISSION OF DATA. FURTHERMORE, IT REQUIRES THAT THE INSTALLED INSTRUMENT SHOULD BE PROGRAMMED TO RECORD CONTINUOUSLY, PROVIDING PEAK GROUND VIBRATION LEVELS AT A SPECIFIED TIME INTERVAL (5MIN) AS WELL AS WAVEFORM SIGNATURES OF ANY GROUND VIBRATIONS EXCEEDING A THRESHOLD LEVEL GREATER THAN 12 MM/SEC PEAK PARTICLE VELOCITY (PPV). THE INSTRUMENT SHOULD BE ALSO PROGRAMMED TO PROVIDE A WARNING SHOULD THE PEAK GROUND VIBRATION LEVEL EXCEED THE GUIDELINE LIMITS SPECIFIED.

NOTE
IF GROUND VIBRATIONS EXCEED 12 MM/SEC PPV DURING CONSTRUCTION PHASE, [BUILDER MUST] LIMIT HEAVY TRUCKS ON THE ROAD BY STOCKPILING IN A SAFE LOCATION AND MOVING THE MATERIAL WITH A SKID STEER AND SMALL DOZERS; USE SMALLER CONSTRUCTION EQUIPMENT WITHIN PROXIMITY OF THE HOUSE.

NOTE
UNLESS NOTED OTHERWISE, THE BUILDINGS SHALL BE CONSTRUCTED WITH AN INTERIOR CLEAR HEIGHT OF: 8580 mm
THE CLEAR HEIGHT SHALL BE UNOBSTRUCTED BY ANY STRUCTURAL ELEMENTS, BUILDING SERVICES, FIXTURES OR FITTINGS EXCEPT IN STRUCTURAL BAYS IMMEDIATELY ADJUTING LOADING DOORS, WHERE FIXTURES, SERVICES AND FITTINGS MAY PROJECT BELOW THE BOTTOM OF STRUCTURAL STEEL.

NOTE
REFER TO DRAWINGS FROM SHAEFFERS CONSULTING ENGINEERS (LISTED UNDER 'CIVIL ENGINEERING DRAWINGS') FOR GRADING AND SITE SERVING INFORMATION.
NOTE
WASTE DISPOSAL AND RECYCLING STORAGE IS STORED INTERNALLY BY TENANT

LEGAL DESCRIPTION
REGISTERED PLAN 65R-13626 PART 1 OF WEST HALF OF LOT 15 CONCESSION 9 (GEOGRAPHIC CITY OF VAUGHAN) IN THE CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK, PREPARED BY HOLDING JONES VANDERVEEN INC. ONTARIO LAND SURVEYORS DATED NOVEMBER 21, 2017



BUILDING 2 - PARTIAL SITE PLAN
SCALE: 1:500

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700 ANATOLIAN DRIVE
VAUGHAN, ONTARIO, CANADA

PARTIAL SITE PLAN

DATE	REMARKS
15 2022-05-12	TRCA SCREENING REVIEW
16 2022-05-27	ISSUED AS PER CITY COMMENTS
17 2022-06-14	GENERAL REVISIONS
18 2022-06-24	RE-ISSUED FOR SFA
19 2022-08-23	RE-ISSUED FOR SFA
20 2022-11-15	ISSUED FOR SITE INSTRUCTION 06
21 2023-04-25	ISSUED FOR SFA AMENDMENT
22 2023-07-28	RE-ISSUED FOR SFA

PA / PM: B.GHOULZADEH
DRAWN BY: H.B
JOB NO.: TOR18-0077-00

SHEET
A1.3

SITE STATISTICS TABLE

ITEM	BUILDING 2 PROPOSED	BUILDING 2 REQUIRED
ZONING CATEGORY	EM1	EM1
LOT AREA (BLOCK 3)	4,668 HA (46,677 m ²)	3,000 m ² MINIMUM (0.3 ha)
FUTURE LOT AREA (HECTARES)	2,247 HA (22,470 m ²)	3,000 m ² MINIMUM (0.3 ha)
GROUND FLOOR AREA (SQ. M)	24,299.26	N/A
GROSS FLOOR AREA (SQ. M)	24,299.26	N/A
LOT COVERAGE	52.06%	60% MAXIMUM FOR SITE
FRONT YARD SETBACK (M)	19.89m	6.0m (East)
INT. SIDE YARD SETBACK (M)	10.22m	6.0m (South)
EXT. SIDE YARD SETBACK (M)	N/A	6.0m (N/A)
REAR YARD SETBACK (M)	18.32	12.0m (West)
LANDSCAPE COVERAGE (NET EXCLUDING SETBACK FROM 10m BUFFER)	6,338.45 (13.58%)	MIN 5% OF LOT AREA
PAVING AREA	16,039.29 (34.36%)	
SNOW STORAGE AREA (PHASE 2)	932.83m (2.00%)	MIN. 2% OF LOT AREA
NUMBER OF PARKING SPACES WAREHOUSE (24,299.04sqm): 0.7 spaces per 100 SM GFA	174 STALLS	171 STALLS
NUMBER OF HANDICAPPED PARKING SPACES (1 + 3% OF TOTAL)	8 STALLS (4) TYPE 'A', (4) TYPE 'B'	7 STALLS MIN. (4) TYPE 'A', (3) TYPE 'B'
NUMBER OF LOADING SPACES	40 SPACES	6 SPACES
PARKING STALL DIMENSIONS (M)	2.7m X 6.0m	2.7m X 6.0m
HANDICAPPED PARKING STALL DIMENSIONS	A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m	A: 3.4m X 6.0m (TYP.) B: 2.4m X 6.0m
LOADING SPACE DIMENSIONS (M)	3.5m X 14.0m	3.5m X 9.0m
BUILDING HEIGHT i) PRINCIPLE BUILDINGS	10.97m	15m MAXIMUM MAY EXCEED, PROVIDED THE SIDE YARD IS INCREASE BY 0.3M PER 0.6M HT. ADDED
BIKE RACKS	20	N/A

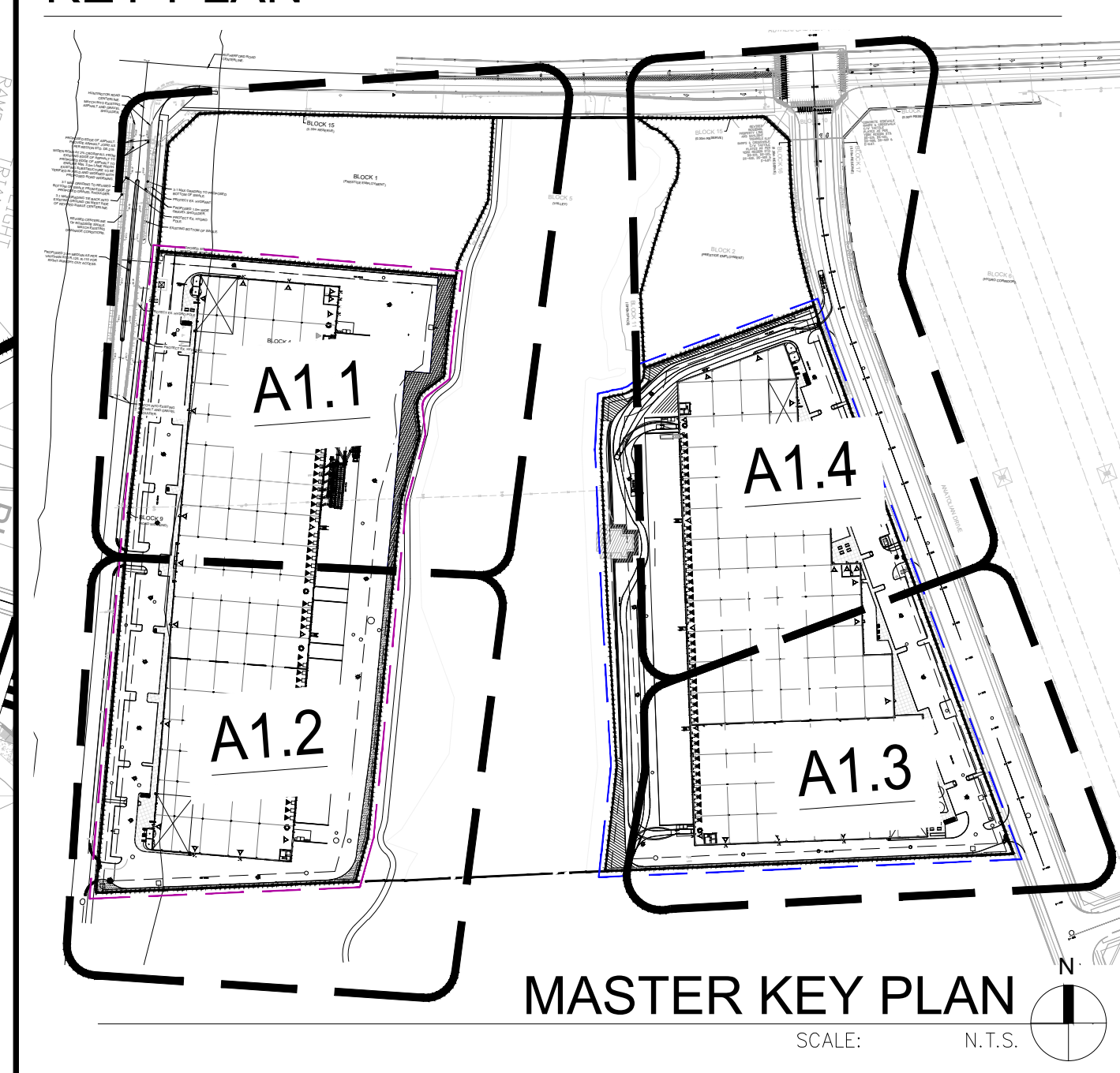
GENERAL NOTES

- PROPERTY LINE
- 2700x6000 PARKING STALL, PAINTED PARKING STRIPPING PER CITY STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- TYPICAL SHARED ACCESSIBLE PARKING STALLS. TO HAVE (2) TYPE B STALLS (2400x6000), (2) TYPE A STALLS (3400x6000), OR ONE OF EACH. 1500mm PATH STRIP BETWEEN - REFER TO CITY OF VAUGHAN ACCESSIBLE PARKING STANDARDS.
- 150mm WIDE CURB TYPICAL
- 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- ENTRY PLAZA - SEE LANDSCAPE DWGS.
- CONCRETE FILLED STEEL BOLLARDS
- FIRE DEPARTMENT CONNECTION / SIAMASE
- PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD
- 1.5m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- PEDESTRIAN RAIL SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS. EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE - L.S. (3.5m x 9m)
- FIRE ACCESS ROUTE W/ 12.5M TURNING RADIUS (---)
- PROPOSED ELECTRICAL ROOM
- PROPOSED SPRINKLER ROOM
- CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010. - SEE CIVIL DWGS.
- 1.5M WIDE PAINTED ASPHALT PATHWAY - REFER TO A1.5
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT.
- TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- RETAINING WALL - REFER TO STRUC./GRADING DWGS
- ROAD CURBS AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- INVERTED U-SHAPE GALVANIZED BICYCLE RACKS PROVIDED AT PRINCIPLE ENTRIES, MIN. 1.8MX0.6M PER SPACE (DETAIL 2/A1.5)
- PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- YELLOW PAINTED LINES - REFER TO A1.5
- PUBLIC ENTRANCE TO TRAILHEAD AT FUTURE PUBLIC TRAIL
- PRECAST SCREEN WALL TO BE INSTALLED ABOVE RETAINING WALL - REFER TO STRUC. DWGS
- 1.5m WIDE SIDEWALK
- 3.0m CONCRETE WIDE MULTI-USE PATH
- PROPOSED AMENITY AREA
- EXISTING HERITAGE BUILDING - TO BE PROTECTED BY A 3.0m BUFFER ON ALL SIDES.
- SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- CARPOOL PARKING SPACES 2700X6000MM W/ SIGNAGE - REFER TO DETAIL 3/A1.5
- EXISTING UTILITIES TO BE REMOVED OR RELOCATED INCL. FROM ROAD WIDENING WORKS - TO BE CONFIRMED W/ SURVEY
- FIRE ROUTE SIGNAGE INSTALLED PER VAUGHAN STANDARDS, SPACED EVERY 30M - REFER TO SHEET A1.5.
- RB-93 PERMIT SIGNAGE - REFER TO SHEET A1.5.
- DETECTIBLE TACTILE WARNING SURFACE, CONFIRMING TO 2012 O.B.C.
- CONCRETE JERSEY BARRIERS
- LOADING PAD AND WASTE COLLECTION BINS. PAD TO BE MIN. 9.3 x 6.0m AND HAVE MIN. 300mm COMPACTED 20mm CRUSHER RUN-LIMESTONE AND FINISHED TO MIN. 200mm DEPTH, OR ACCEPTABLE ALTERNATIVE AS PER CITY REQUIREMENTS. GRADE TO NOT EXCEED 2% - REFER TO GRADE DWGS.
- INTERNAL GARBAGE STORAGE WITH VENTILATION AND APPROPRIATE ODOUR CONTROL REQ. FOR THE WASTE STORAGE FACILITY

SITE LEGEND

	NEW HEAVY DUTY PAVEMENT (HATCHED)		NEW STOP SIGN
	SNOW STORAGE AREA		DENOTES MANHOLE
	NEW LANDSCAPED AREA (HATCHED)		PROPOSED CATCHBASIN
	NEW CONCRETE SIDEWALK (HATCHED)		ACCESSIBLE PARKING SIGNAGE
	FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS		GAS METER & PRESSURE REG. STATION BY GAS COMPANY
	TRUCK LOADING DOCK DOOR		PAINTED CARPOOL PARKING SPACE SYMBOL
	KNOCK OUT PANEL		PHASE 1 BOUNDARY
	MAN DOOR ENTRY		PHASE 2 BOUNDARY
	FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)		PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
	EXISTING HYDRO POLE		EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)

KEY PLAN



BUILDING 2 - PARTIAL SITE PLAN

SCALE: 1:500

NOTE
REFER TO DRAWINGS FROM SHAEFFERS CONSULTING ENGINEERS (LISTED UNDER "CIVIL ENGINEERING DRAWINGS") FOR GRADING AND SITE SERVING INFORMATION.

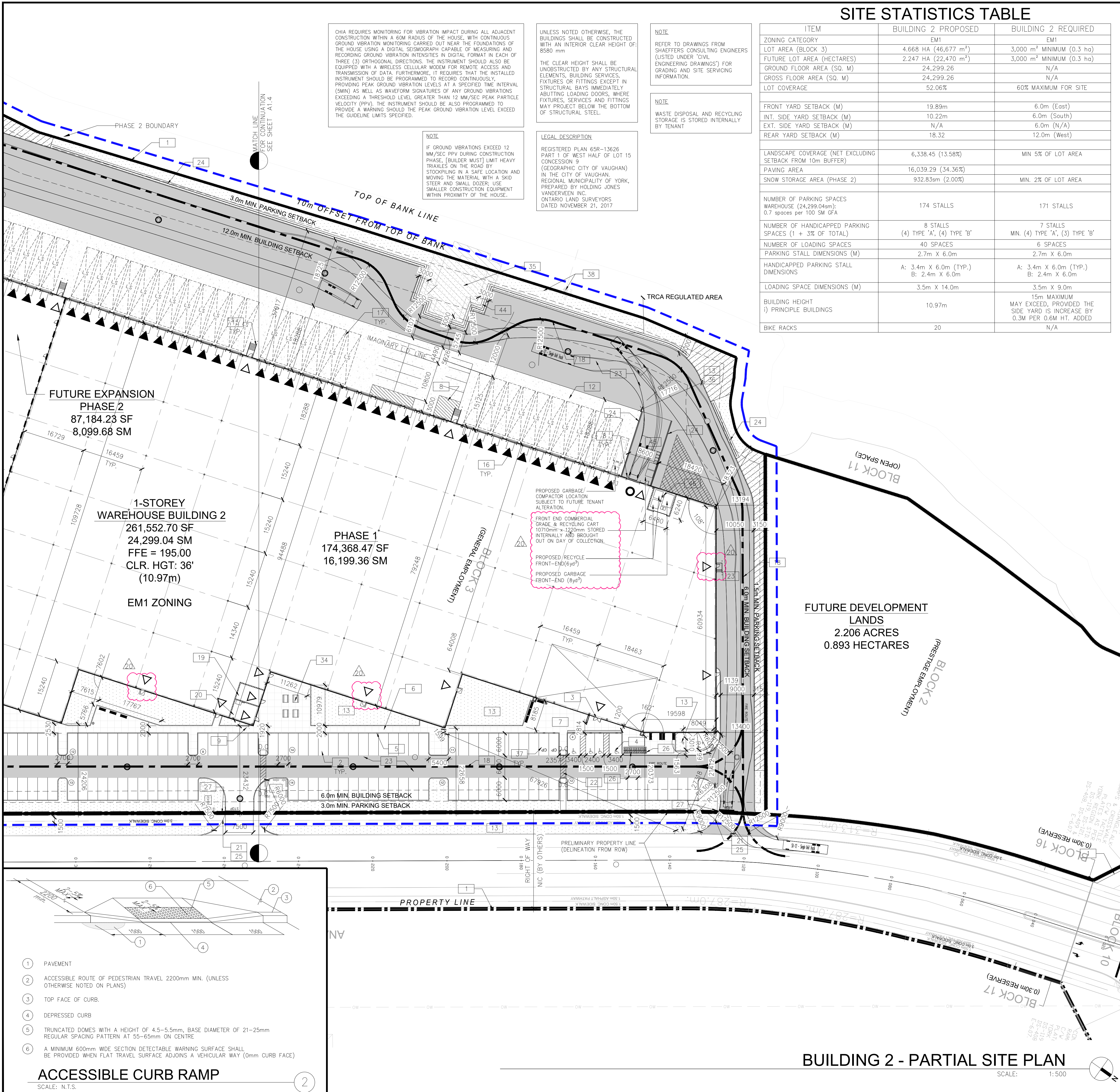
NOTE
WASTE DISPOSAL AND RECYCLING STORAGE IS STORED INTERNALLY BY TENANT

NOTE
UNLESS NOTED OTHERWISE, THE BUILDINGS SHALL BE CONSTRUCTED WITH AN INTERIOR CLEAR HEIGHT OF: 8580 mm

THE CLEAR HEIGHT SHALL BE UNOBSTRUCTED BY ANY STRUCTURAL ELEMENTS, BUILDING SERVICES, FIXTURES OR FITTINGS EXCEPT IN STRUCTURAL BAYS IMMEDIATELY ADJUTING LOADING DOORS, WHERE FIXTURES, SERVICES AND FITTINGS MAY PROJECT BELOW THE BOTTOM OF STRUCTURAL STEEL.

LEGAL DESCRIPTION
REGISTERED PLAN 65R-13626 PART 1 OF WEST HALF OF LOT 15 CONCESSION 9 (GEOGRAPHIC CITY OF VAUGHAN) IN THE CITY OF VAUGHAN. REGIONAL MUNICIPALITY OF YORK, PREPARED BY HOLDING JONES VANDERVEEN INC. ONTARIO LAND SURVEYORS, DATED NOVEMBER 21, 2017

NOTE
IF GROUND VIBRATIONS EXCEED 12 MM/SEC PPV DURING CONSTRUCTION PHASE, [BUILDER MUST] LIMIT HEAVY TRUCKS ON THE ROAD BY STOCKPILING IN A SAFE LOCATION AND MOVING THE MATERIAL WITH A SKID STEER AND SMALL DOZER; USE SMALLER CONSTRUCTION EQUIPMENT WITHIN PROXIMITY OF THE HOUSE.



- PAVEMENT
 - ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
 - TOP FACE OF CURB.
 - DEPRESSED CURB
 - TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm REGULAR SPACING PATTERN AT 55-65mm ON CENTRE
 - A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJOINS A VEHICULAR WAY (0mm CURB FACE)
- ACCESSIBLE CURB RAMP**
SCALE: N.T.S.

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ONTARIO ASSOCIATION
of
ARCHITECTS
Ana Catalina Rocha
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7266

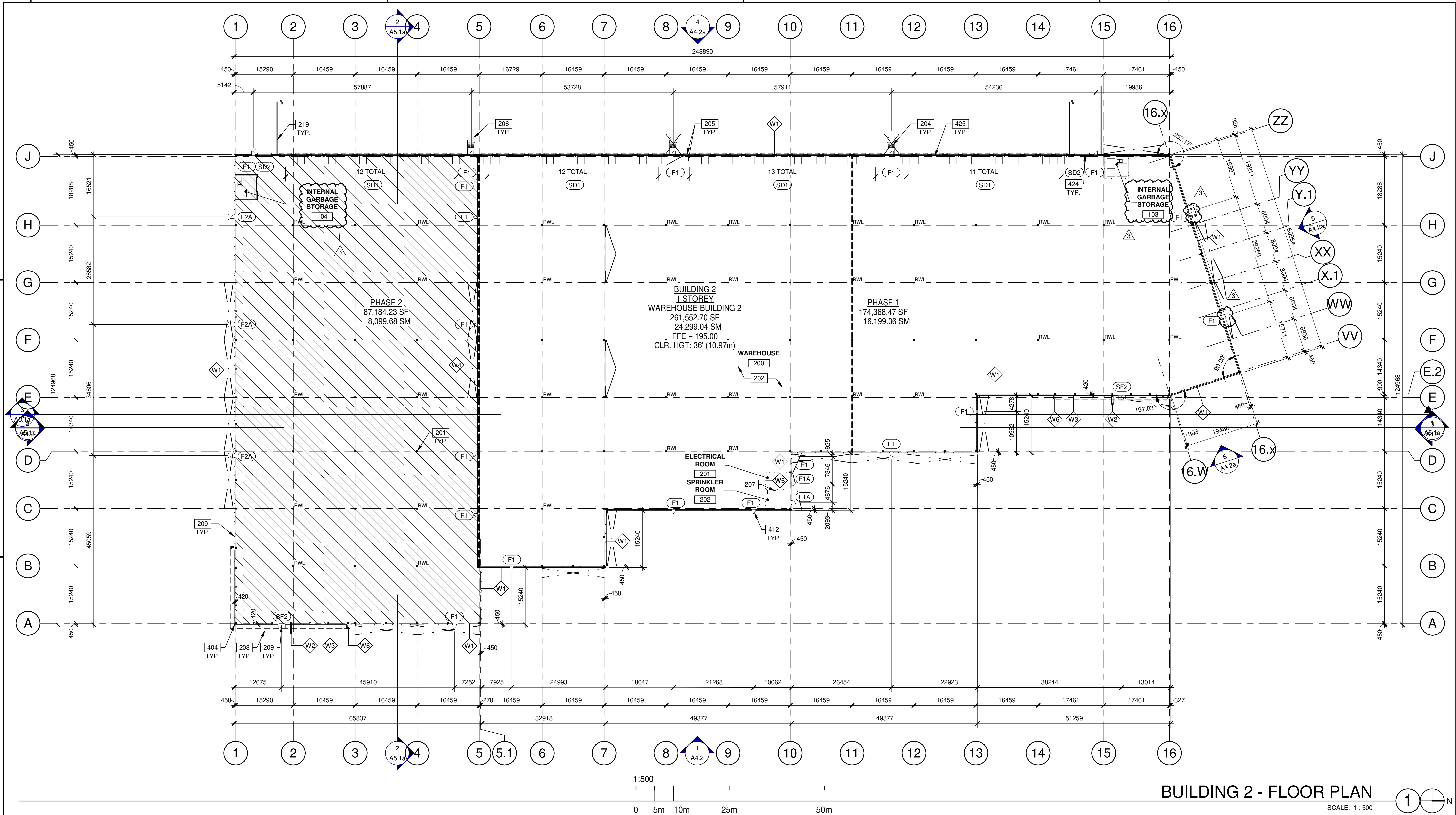
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700 ANATOLIAN DRIVE
VAUGHAN, ONTARIO, CANADA

PARTIAL SITE PLAN

DATE	REMARKS
12/2021-12-17	TENDER ADDENDUM 06
13/2022-02-07	ISSUED FOR CLIENT'S REVIEW
14/2022-03-31	ISSUED FOR BUILDING PERMIT
15/2022-05-27	ISSUED AS PER CITY COMMENTS
16/2022-06-14	DTI COMMENTS
17/2022-06-24	RE-ISSUED FOR SPA
18/2023-04-25	ISSUED FOR SPA AMENDMENT
20/2023-07-28	RE-ISSUED FOR SPA

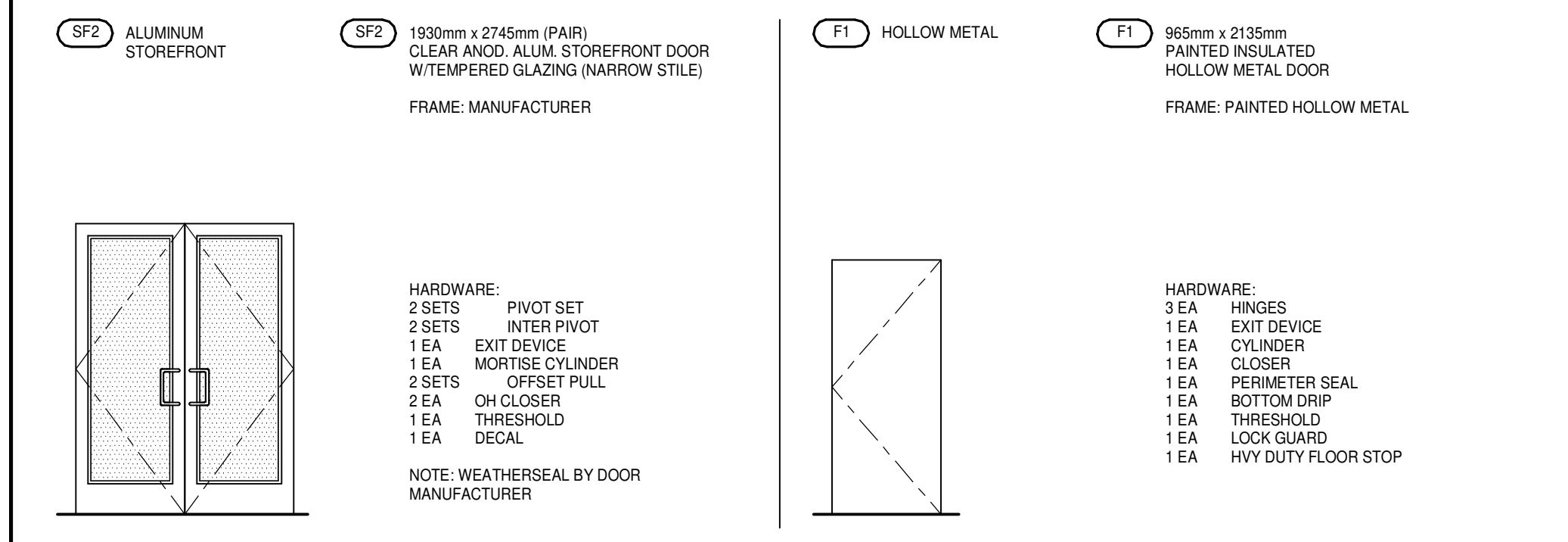
PA / PM: H.B.
DRAWN BY: DT
JOB NO.: TOR18-0077-00

SHEET
A1.4



BUILDING 2 - FLOOR PLAN
SCALE: 1 : 500

DOOR TYPES

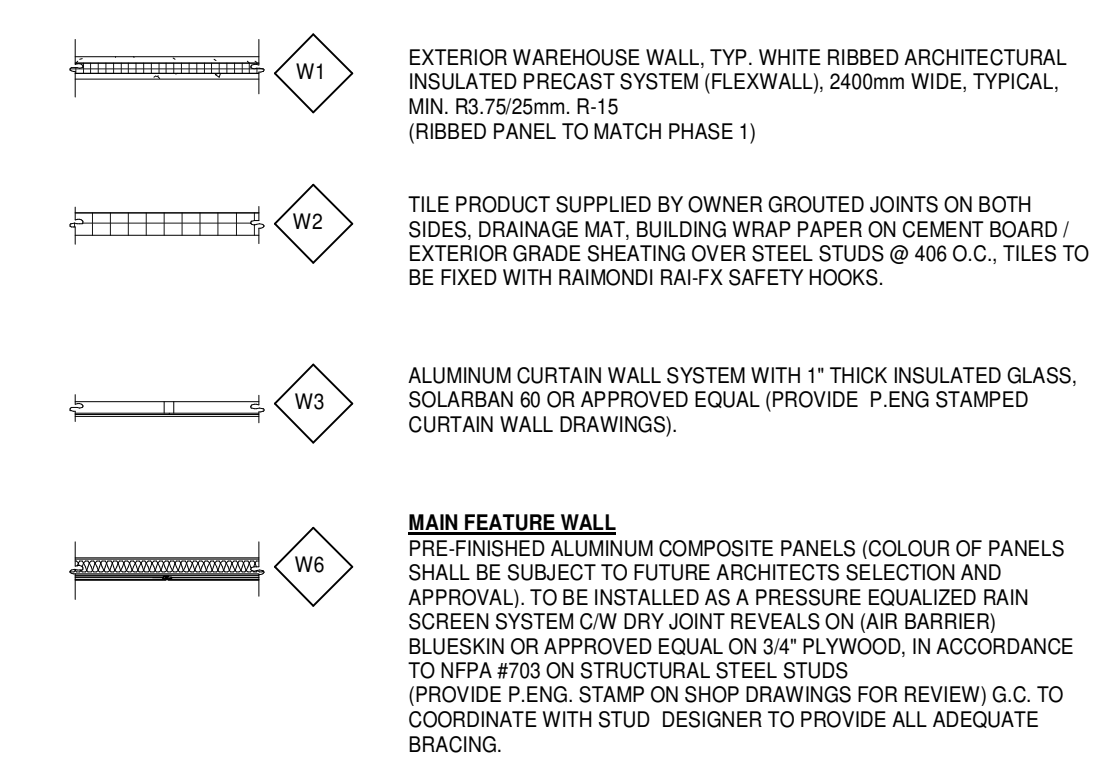


DOOR NOTES

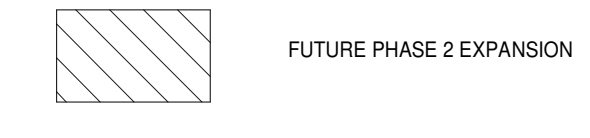
BUTT HINGES: SOSS - STANDARD WEIGHT, PLAIN BEARING, STEEL HINGES OR APPROVED EQUAL.
ALL EXTERIOR OUTSWINGING DOOR BUTTS SHALL BE MADE OF NON-FERROUS MATERIAL AND SHALL HAVE STAINLESS STEEL HINGE PINS.

VON DUPRIN 99 SERIES PANIC DEVICE OR APPROVED EQUAL
CLOSING DEVICES: NORTON 8500 BF SERIES OR APPROVED EQUAL
STOPS: TRIMCO W1200 SERIES DOOR STOP
SLIDE BOLT AND PAD LOCK: INSTALL SLIDE BOLT ABOVE LEVEL OF DOOR GUARD

WALL LEGEND



LEGEND



KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 DOCK LEVELLER AND DOCK SHELTER.
- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 207 ROOF ACCESS LADDER.
- 208 OUTLINE OF CANOPY ABOVE.
- 209 ARCHITECTURAL PRECAST CONCRETE PANEL. (FLEXWALL)
- 219 CONCRETE RETAINING WALL, WITH FULL LENGTH GUARDRAIL.
- 404 CURTAIN WALL GLAZING SYSTEM W/ BIRD SAFE TREATMENT AS PER REQUIREMENT BIRD SAFE DESIGN STANDARDS.
- 412 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSES EXITS.
- 424 SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH.
- 425 SECTIONAL OVERHEAD DOCK HIGH TRUCK DOOR WITH FACTORY PAINTED FINISH.

ONTARIO ASSOCIATION of ARCHITECTS
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700 ANATOLIAN DRIVE
VAUGHAN, ONTARIO

BUILDING 2 - FLOOR PLAN

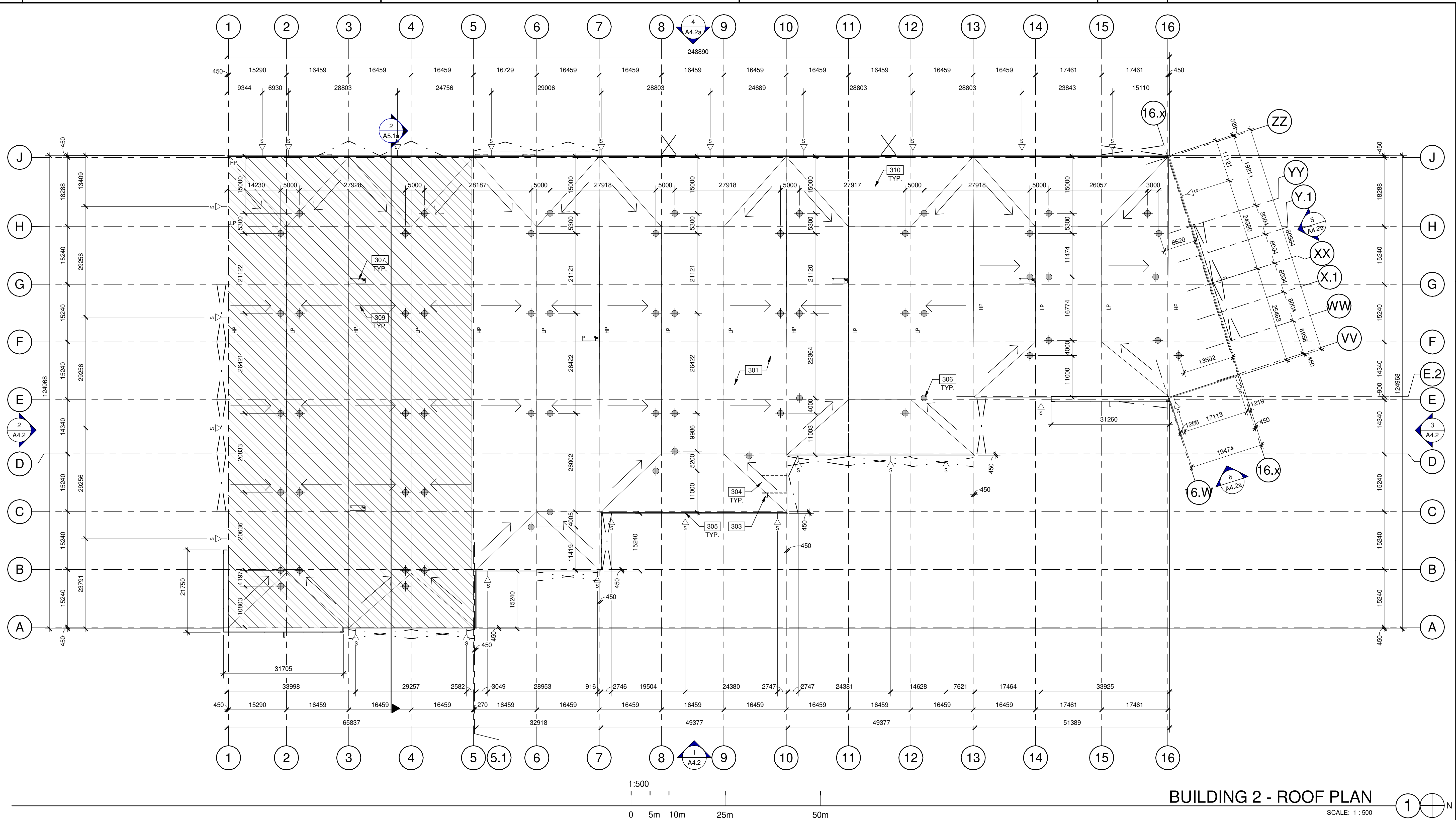
DATE	REVISIONS
03-04-2020	50% CLIENT PROGRESS REVIEW
17-04-2020	ISSUE FOR SPA
06-03-2020	ISSUED FOR COORDINATION
2023-03-14	SPA SET
2023-04-03	ISSUED FOR SPA AMENDMENT
2023-07-28	RE-ISSUED FOR SPA

PA/PM:	B. GHOLZADEH
DRAWN BY:	D.V./O.T.
JOB NO.:	TOR18-0077-00

SHEET
A2.2
BUILDING 2

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2023-07-28_RE-ISSUED FOR SPA



BUILDING 2 - ROOF PLAN

SCALE: 1 : 500

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- FUTURE PHASE 2 EXPANSION

KEYNOTES

- 301 REFER TO "R1" ON A0.2a (ASSEMBLY NOTES).
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 OVERFLOW SCUPPER.
- 306 PRIMARY AND SECONDARY DRAINS.
- 307 ROOF TOP MECHANICAL UNIT - REFER TO MECH.
- 309 FLOW LINE TO DRAIN.
- 310 PROVIDE MIN. SLOPE TO ROOF DRAIN. REFER TO MECH. DWGS.



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BUILDING 2 - ROOF PLAN

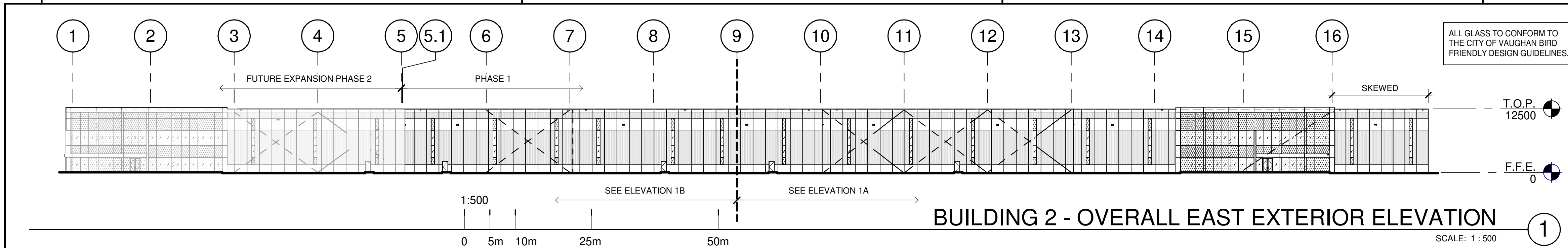
DATE	REMARKS
03-04-2020	50% CLIENT PROGRESS REVIEW
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2023-07-28	RE-ISSUED FOR SPA

PA/PM: B. GHOLIZADEH
 DRAWN BY: D.V./O.T.
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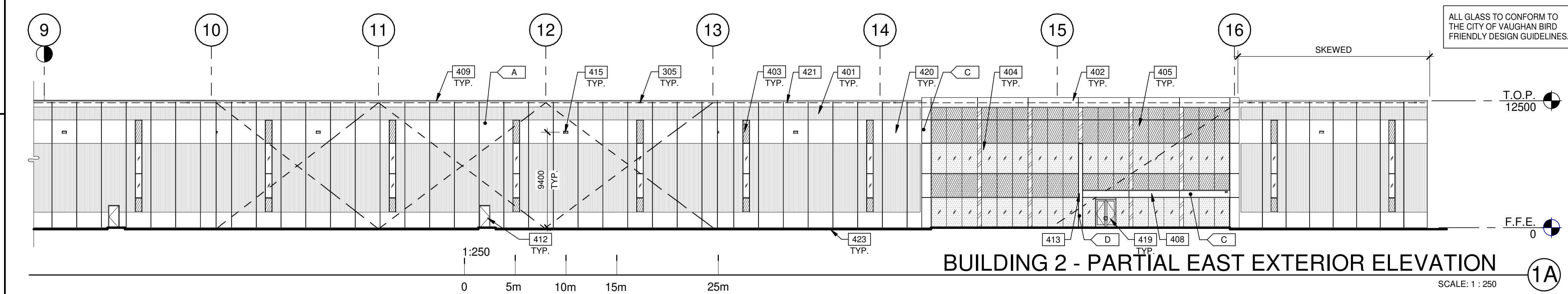
SHEET
A3.2
 BUILDING 2

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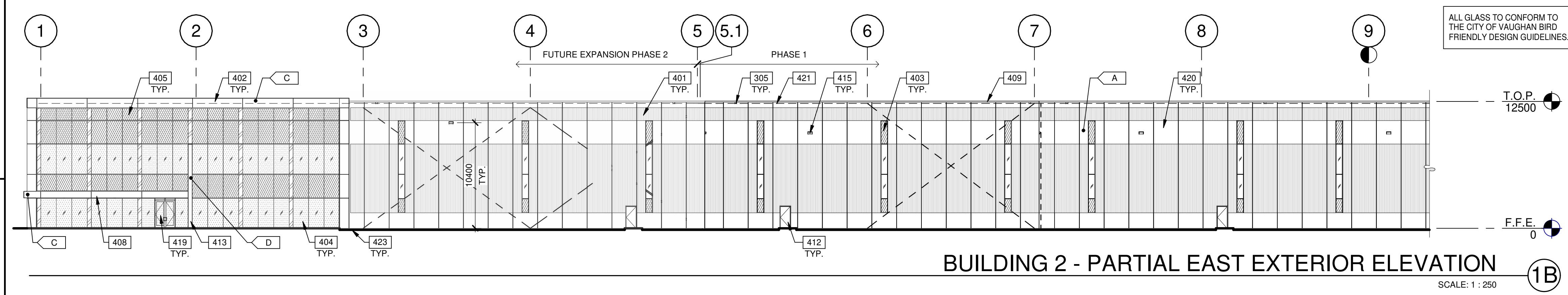
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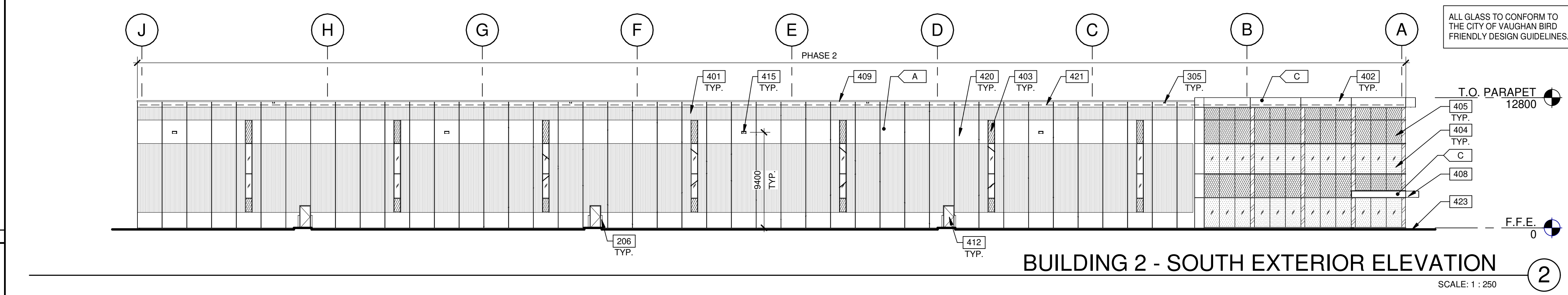
BUILDING 2 - OVERALL EAST EXTERIOR ELEVATION



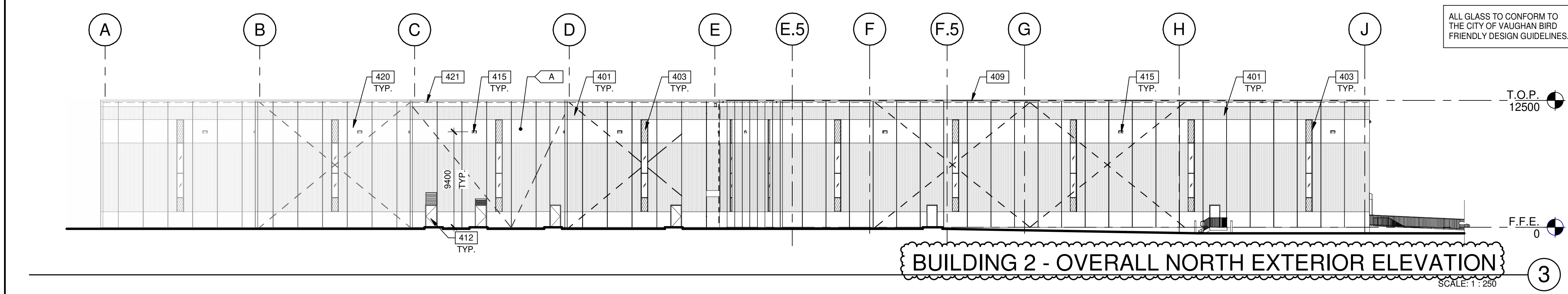
BUILDING 2 - PARTIAL EAST EXTERIOR ELEVATION 1A



BUILDING 2 - PARTIAL EAST EXTERIOR ELEVATION 1B



BUILDING 2 - SOUTH EXTERIOR ELEVATION 2



BUILDING 2 - OVERALL NORTH EXTERIOR ELEVATION 3

KEYNOTES

- 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 305 OVERFLOW SCUPPER.
- 401 RIBBED PRECAST INSULATED CONCRETE PANEL (WHITE FLEXWALL), 2400MM WIDE.
- 402 LIGHT GREY METAL COMPOSITE PANEL SYSTEM WITH OVERHANG.
- 403 CURTAIN WALL GLAZING SYSTEM W/ BIRD SAFE TREATMENT AS PER REQUIREMENT BIRD SAFE DESIGN STANDARDS.
- 404 SPANDREL PANEL IN CURTAIN WALL GLAZING SYSTEM.
- 405 CANOPY WITH ALUMINUM COMPOSITE PANEL FASCIA AND METAL SOFFIT.
- 409 CONTINUOUS METAL GAP FLASHING.
- 412 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSES EXITS.
- 413 SEE WALL TYPE W2.
- 415 LED WALL-PACK LIGHT FIXTURE.
- 419 ALUMINUM STOREFRONT DOUBLE DOORS IN CURTAIN WALL SYSTEM.
- 420 FLAT BAND ALONG FLEX PRECAST SYSTEM, AS SHOWN.
- 421 ROOF LINE BEYOND.
- 423 FINISH GRADE VARIES.

LEGENDS

- GLASS:**
- VISION GLASS
VISION PANEL - GRAY (VITRO SOLARGRAY)
6mm FLOAT GLASS, DOUBLE SEALED INSULATED GLAZED UNIT WITH OUTER SHEET WITH BIRD FRIENDLY PATTERN
 - COLOUR 1 SPANDREL
COLOUR GRAY #93364 CYBERSPACE VITRO CLEAR 6mm - OPACI-COAT-300
NOTE: INSULATED UNITS WITH METAL BACKPAN AND OUTER SHEET, WITH BIRD FRIENDLY PATTERN
 - SPANDREL GLASS
COLOUR 2 SPANDREL- OPACI RC3 820 HARMONY GREY ON 6mm CLEAR INSULATED UNITS WITH METAL BACKPAN AND OUTER SHEET, WITHOUT BIRD FRIENDLY PATTERN
- STRUCTURAL BRACING

ALL BIRD FRIENDLY GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 A. DOT SIZE SHALL BE MINIMUM 5mm
 B. DOT COLOUR SHALL BE OF HIGH CONTRAST IN RELATION TO THE BACKGROUND.
 C. DOT SPACING SHALL BE MAXIMUM 5cm ON CENTRE.
 D. UP TO 16m ABOVE GRADE.

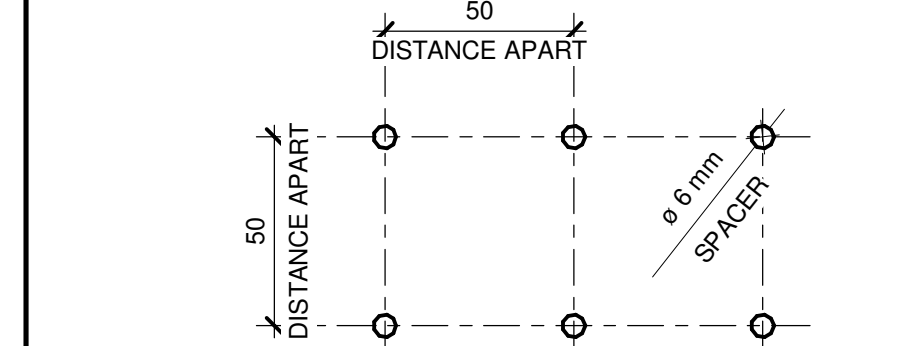
NOTE:
 ALL GLAZING IN PHASE 1 AND 2 TO MATCH BUILDINGS ON WEST OF CREEK

COLOURS:
 PROVIDE 1:828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

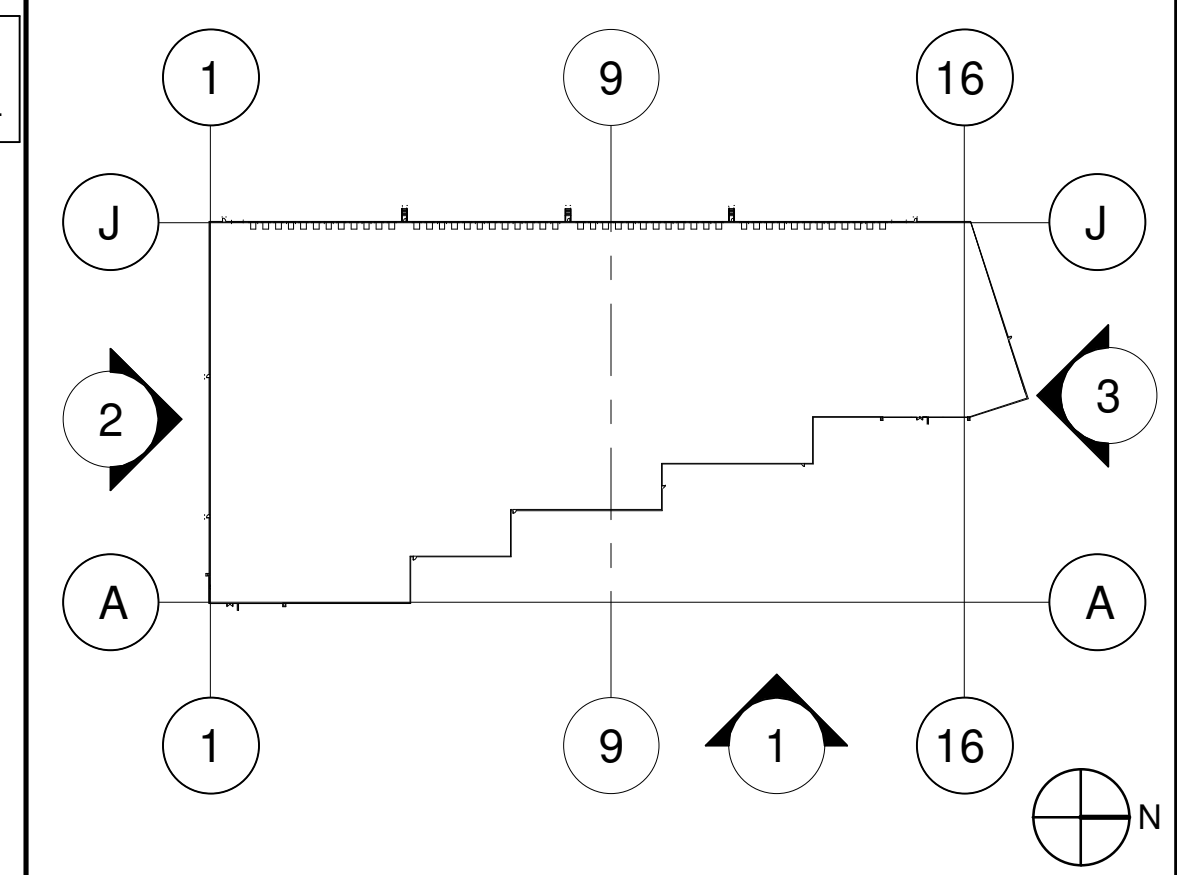
- A BASE COLOUR: WHITE INSULATED FLEXWALL PANEL
- B REMOVED
- C ALUMINUM COMPOSITE METAL PANEL - CHARCOAL
- D WHITE STONE TILE PRODUCT SUPPLIED BY OWNER

NOTE: ALL MATERIALS, ACM PANEL, GLAZING AND PRECAST TO MATCH PHASE 1

ALL GLASS TO BE CONFORM TO THE CITY OF VAUGHAN BIRD FRIENDLY DESIGN GUIDELINES.



KEY PLAN



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anatolia
 CAPITAL CORP

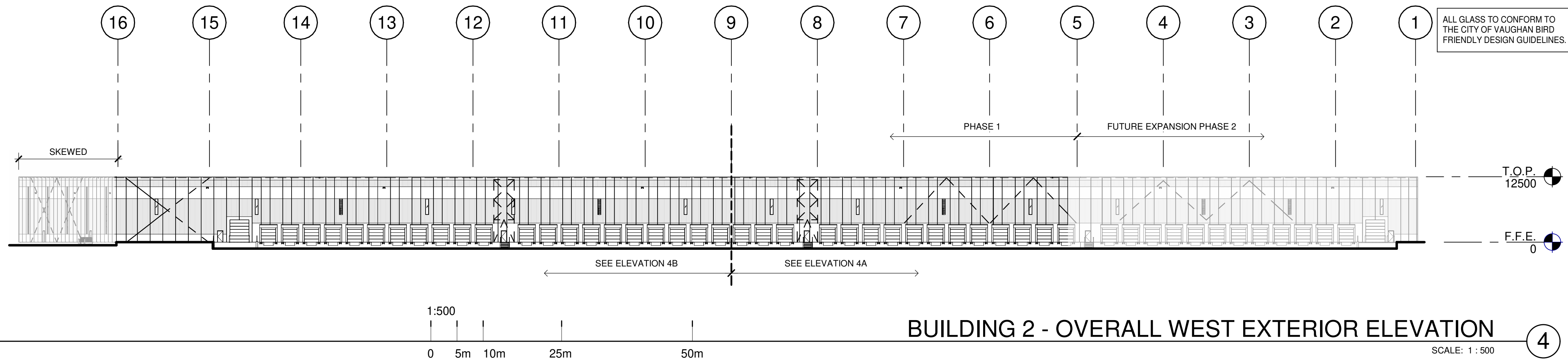
ANATOLIA 9151
 700 ANATOLIAN DRIVE
 VAUGHAN, ONTARIO

DATE	REMARKS
03-04-2020	50% CLIENT PROGRESS REVIEW
17-04-2020	ISSUED FOR SPA
06-03-2020	ISSUED FOR COORDINATION
2023-03-14	SPA SET
2023-04-03	ISSUED FOR SPA AMENDMENT
2023-07-28	RE-ISSUED FOR SPA

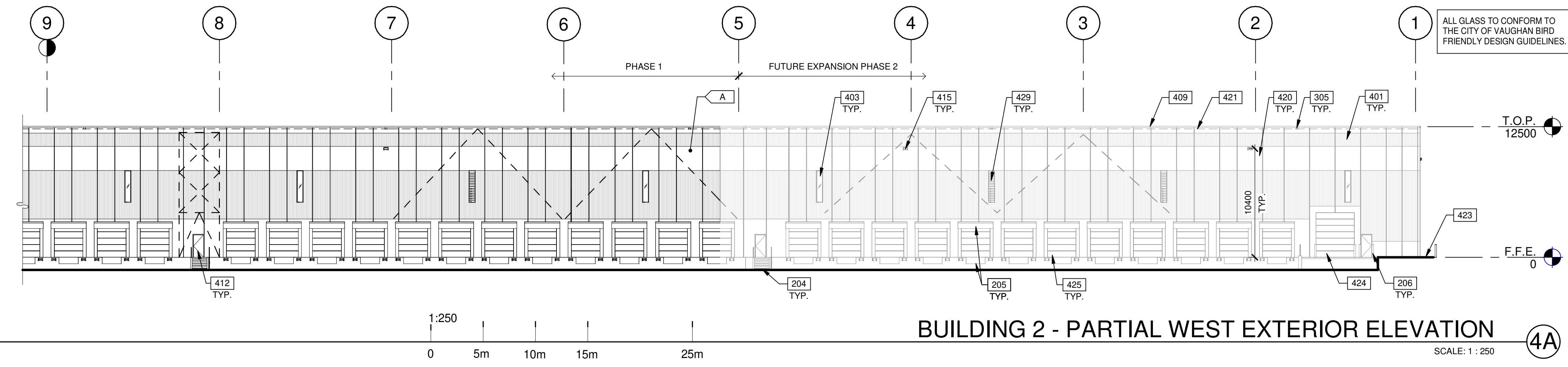
PA/PM: B. GHOLIZADEH
 DRAWN BY: D.V./O.T.
 JOB NO.: TOR18-0077-00

SHEET
A4.2
 BUILDING 2

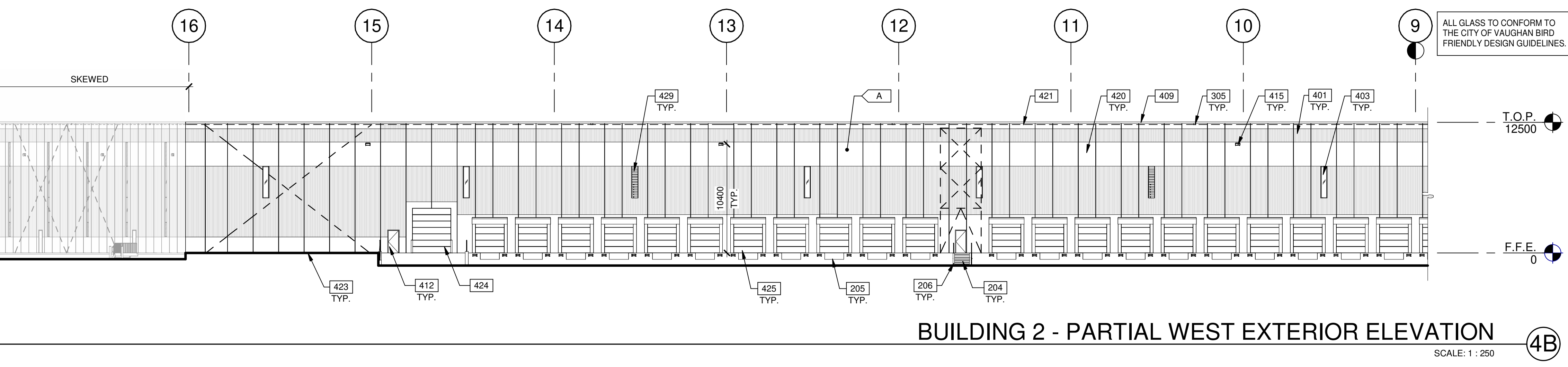
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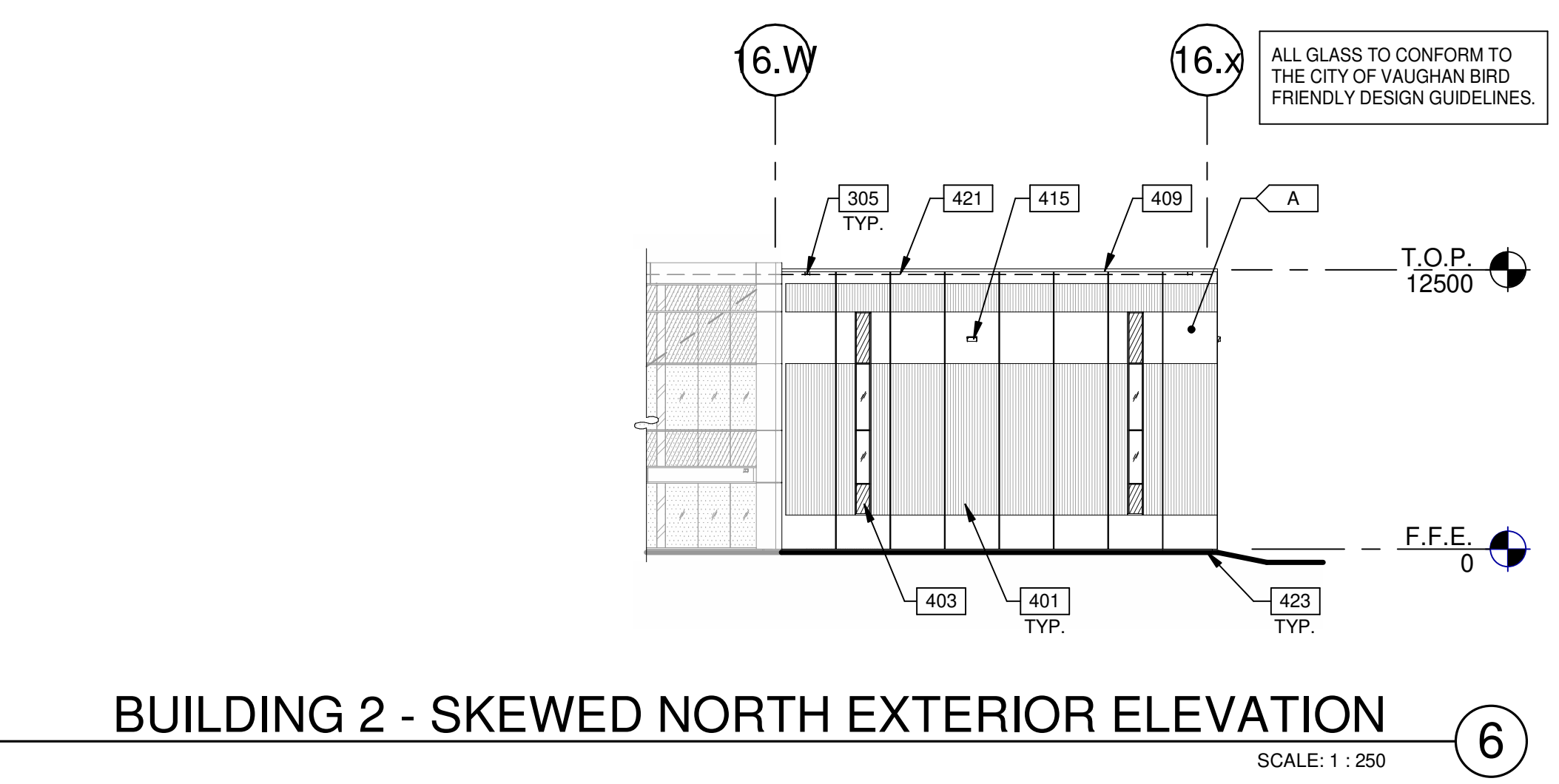
BUILDING 2 - OVERALL WEST EXTERIOR ELEVATION (4)



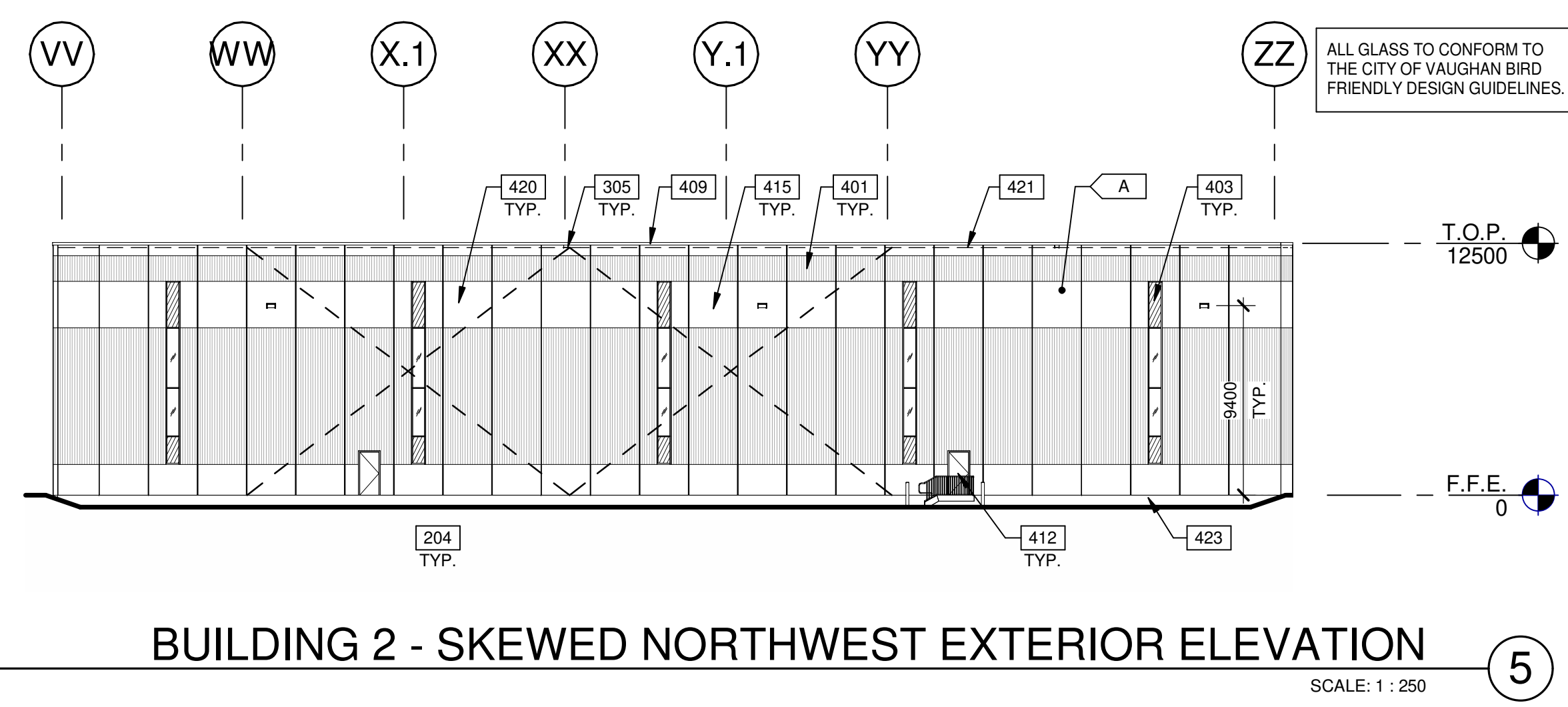
BUILDING 2 - PARTIAL WEST EXTERIOR ELEVATION (4A)



BUILDING 2 - PARTIAL WEST EXTERIOR ELEVATION (4B)



BUILDING 2 - SKEWED NORTH EXTERIOR ELEVATION (6)



BUILDING 2 - SKEWED NORTHWEST EXTERIOR ELEVATION (5)

- ### KEYNOTES
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
 - 205 DOCK LEVELER AND DOCK SHELTER.
 - 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 305 OVERFLOW SCUPPER.
 - 401 RIBBED PRECAST INSULATED CONCRETE PANEL (WHITE FLEXWALL), 2400MM WIDE.
 - 403 CLERESTORY WINDOW.
 - 409 CONTINUOUS METAL CAP FLASHING.
 - 412 HOLLOW METAL MAN DOOR, PAINTED AT ALL WAREHOUSES EXITS.
 - 415 LED WALL-PACK LIGHT FIXTURE.
 - 420 FLAT BAND ALONG FLEX PRECAST SYSTEM, AS SHOWN.
 - 421 ROOF LINE BEYOND.
 - 423 FINISH GRADE VARIES.
 - 424 SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH.
 - 425 SECTIONAL OVERHEAD DOCK HIGH TRUCK DOOR WITH FACTORY PAINTED FINISH.
 - 429 LOUVER. SEE MECHANICAL DRAWINGS.

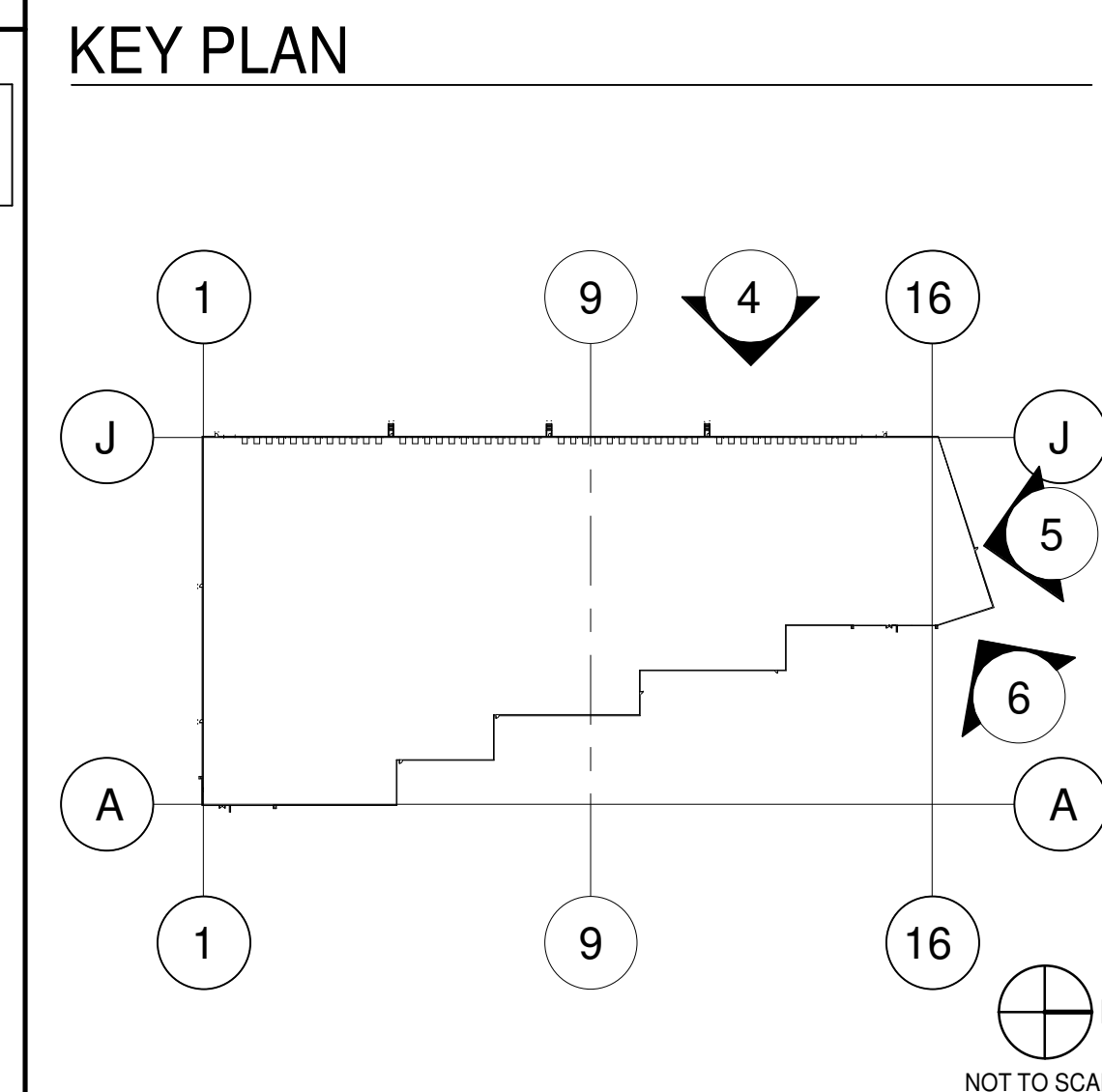
- ### LEGEND
- GLASS:**
- VISION GLASS
VISION PANEL - GRAY (VITRO SOLARGRAY)
6mm FLOAT GLASS, DOUBLE SEALED INSULATED GLAZED UNIT WITH OUTER SHEET WITH BIRD FRIENDLY PATTERN
 - COLOUR 1 SPANDREL
COLOUR GRAY (S-3384 CYBERSPACE VITRO CLEAR 6mm - OPACI-COAT-300)
NOTE: INSULATED UNITS WITH METAL BACKPAN AND OUTER SHEET, WITH BIRD FRIENDLY PATTERN
 - SPANDREL GLASS
COLOUR 2 SPANDREL- OPACI RC3 820 HARMONY GREY ON 6mm CLEAR
INSULATED UNITS WITH METAL BACKPAN AND OUTER SHEET, WITHOUT BIRD FRIENDLY PATTERN
 - STRUCTURAL BRACING

ALL BIRD FRIENDLY GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 A. DOT SIZE SHALL BE MINIMUM 5mm
 B. DOT COLOUR SHALL BE OF HIGH CONTRAST IN RELATION TO THE BACKGROUND.
 C. DOT SPACING SHALL BE MAXIMUM 5cm ON CENTRE.
 D. UP TO 16m ABOVE GRADE.

NOTE:
 ALL GLAZING IN PHASE 1 AND 2 TO MATCH BUILDINGS ON WEST OF CREEK

- ### COLOURS:
- PROVIDE 1:828.8mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A BASE COLOUR: WHITE INSULATED FLEXWALL PANEL
 - B REMOVED
 - C ALUMINUM COMPOSITE METAL PANEL - CHARCOAL
 - D WHITE STONE TILE PRODUCT SUPPLIED BY OWNER
- NOTE: ALL MATERIALS, ACM PANEL, GLAZING AND PRECAST TO MATCH PHASE 1

ALL GLASS TO BE CONFORM TO THE CITY OF VAUGHAN BIRD FRIENDLY DESIGN GUIDELINES.



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 Leading Design for Commercial Real Estate

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 planning Vaughan, Ontario, L4H 0R1
 interiors P: 905.850.4696
 graphics a business name of WMA Inc.
 civil engineering

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ANATOLIA 9151
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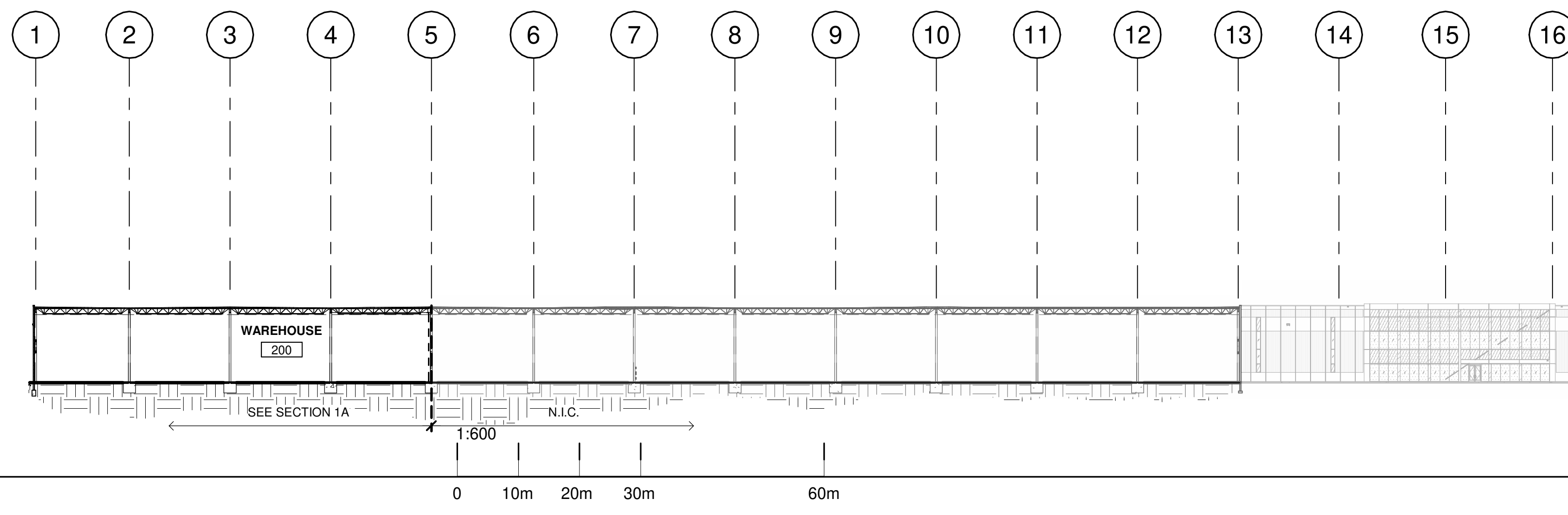
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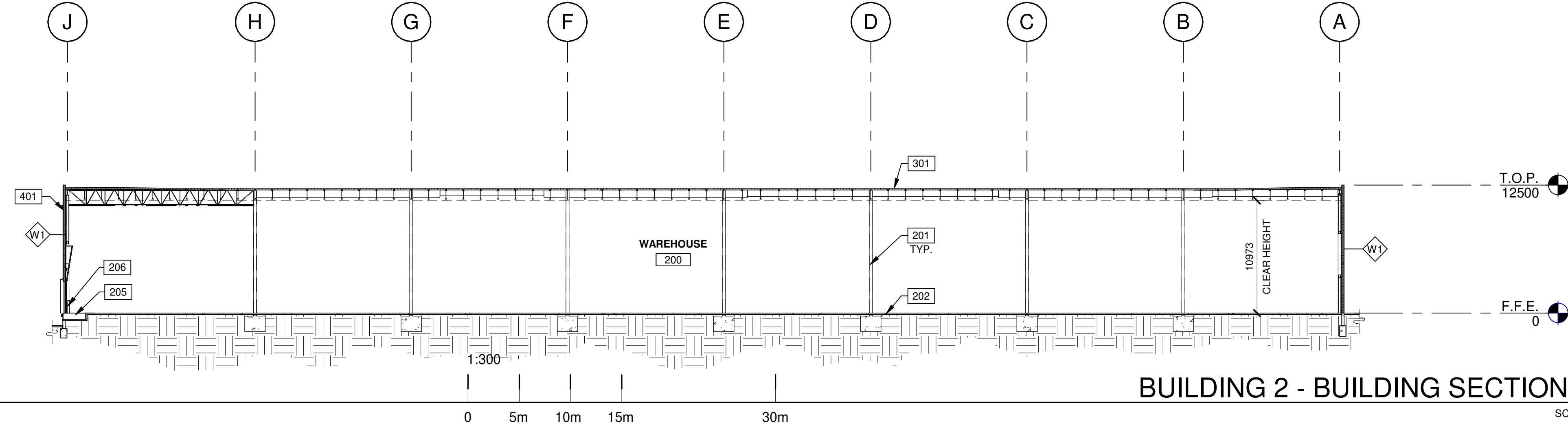
SHEET
A4.2a
 BUILDING 2

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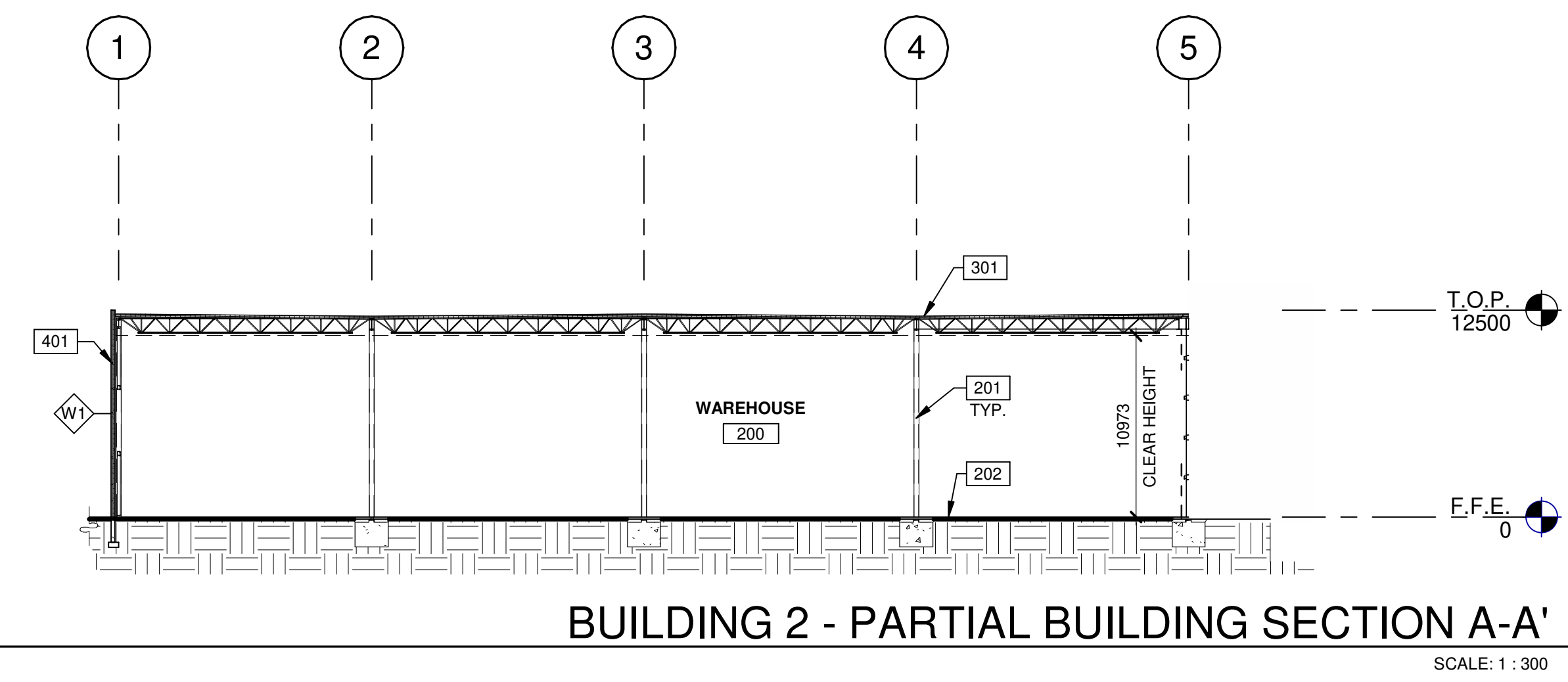
2023-07-28_RE-ISSUED FOR SPA



BUILDING 2 - OVERALL BUILDING SECTION A-A'
SCALE: 1 : 600

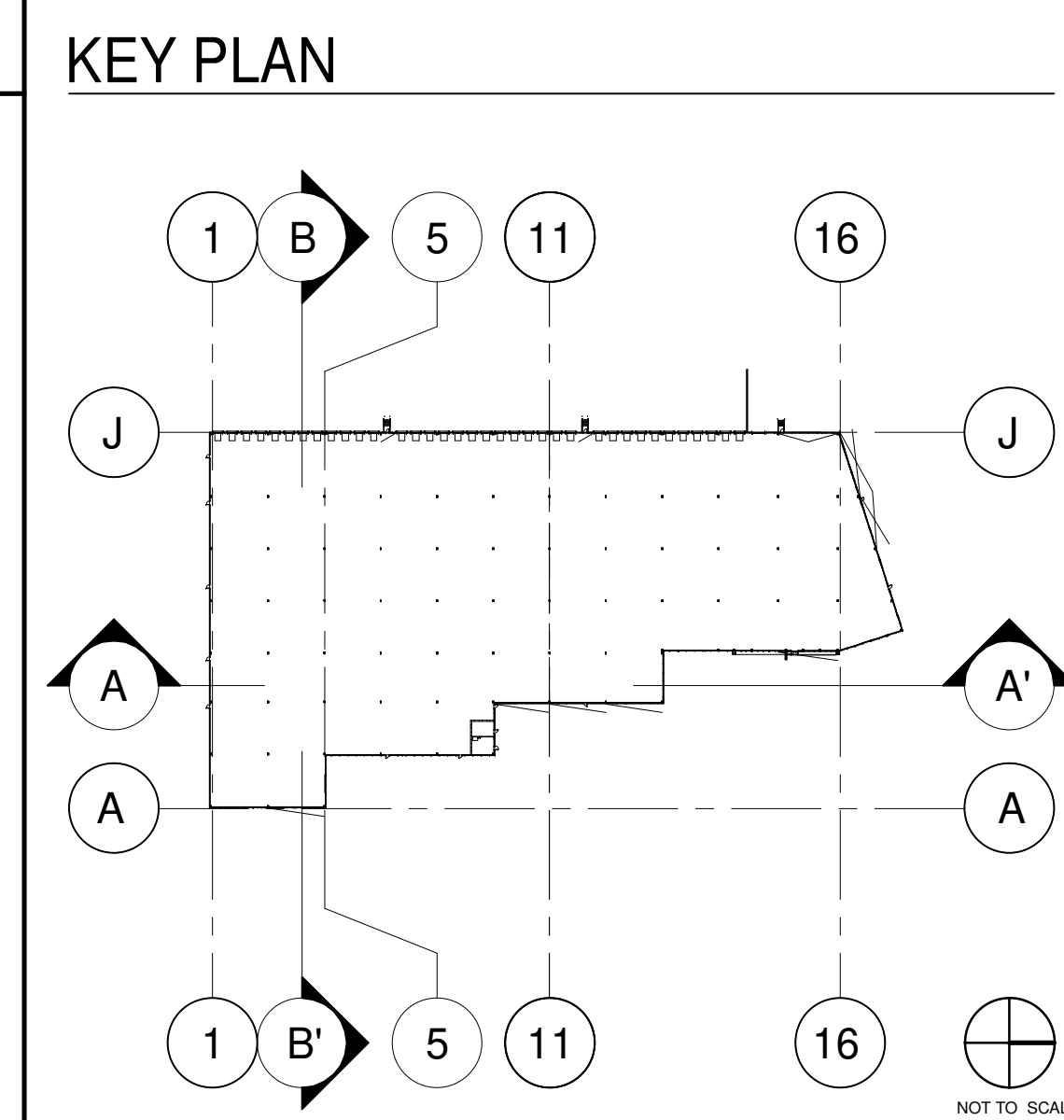


BUILDING 2 - BUILDING SECTION B-B'
SCALE: 1 : 300



BUILDING 2 - PARTIAL BUILDING SECTION A-A'
SCALE: 1 : 300

- KEYNOTES**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB.
 - 205 DOCK LEVELER AND DOCK SHELTER.
 - 206 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 301 REFER TO 'R1' ON A0.2a (ASSEMBLY NOTES).
 - 401 RIBBED PRECAST INSULATED CONCRETE PANEL (WHITE FLEXWALL), 2400MM WIDE.



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ANATOLIA 9151

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BUILDING 2 - BUILDING SECTIONS	
DATE	REMARKS
1 2023-07-28	RE-ISSUED FOR SPA

PA/PM:	H.B.
DRAWN BY.:	Author
JOB NO.:	TOR18-0077-00

SHEET

A5.1a

BUILDING 2

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