

| Mark | Date | Description |
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| 15 | 2025-11-05 | SPA Resubmission |
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165 Tycos Drive

PROJECT TEAM

| | |
|---|--|
| CLIENT Anatolia Investment Corp. | LIGHTING DESIGN Design Works |
| PLANNING AND URBAN DESIGN Batory Management | MECHANICAL CONSULTANT Design Works |
| ARCHITECT Micacchi Architecture | TRANSPORTATION/TRAFFIC CONSULTANT BA Group |
| LANDSCAPE ARCHITECTS Alexander Budrevics & Associates | ARBORIST Kuntz Forestry Consulting |
| CIVIL ENGINEERING GEI | |

| | | | | | |
|------|--------------------------|------|---------------------------------|------|--------------------------|
| A001 | Cover Sheet | A013 | Signage Schematic Concept | A303 | South Elevation |
| A002 | Survey | A014 | Bird-Friendly Design Guidelines | A304 | North Elevation |
| A003 | Draft R - Plan | A015 | OBC Part 3 - Matrix | A311 | Partial South Elevations |
| A004 | Context Plan | A101 | Ground Floor Plan | A312 | Partial North Elevations |
| A005 | Block Context Plan | A102 | Second Floor Plan | A313 | Partial West Elevations |
| A006 | Site Plan | A103 | Third Floor Plan | A314 | Partial East Elevation |
| A007 | Site Plan @ Ground Level | A104 | Fourth Floor Plan | A401 | Section 1 |
| A008 | Project Statistics | A105 | Fifth Floor Plan | A901 | Perspective View - North |
| A009 | Landscape Coverage + TPP | A106 | Mech. Panthouse Floor Plan | A902 | Perspective View - NW |
| A010 | Sun/Shadow Study - March | A107 | Roof Plan | A903 | Perspective View - West |
| A011 | Sun/Shadow Study - Sept. | A301 | West Elevation | A904 | Perspective View - South |
| A012 | Material Sample Board | A302 | East Elevation | A905 | Perspective View - East |

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|------------------------------------|
| job title |
| 165 Tycos Dr. |
| client |
| Anatolia Investments Corp. |
| sheet title |
| Cover Sheet |
| issue date |
| Wednesday, November 5, 2025 |
| scale |
| job number |
| 2106 |

GENERAL SITE PLAN NOTES:

1. THE 3.44m WIDE STRIP OF LAND ALONG THE CALEDONIA ROAD FRONTAGE OF THE SITE WILL BE CONVEYED TO THE CITY IN AN UNENCUMBERED MANNER FOR A NOMINAL SUM TO THE SATISFACTION OF THE CITY.

2. THE 6m CORNER ROUNDING AT THE NORTH-WEST CORNER OF THE SITE WILL BE CONVEYED TO THE CITY IN AN UNENCUMBERED MANNER FOR A NOMINAL SUM TO THE SATISFACTION OF THE CITY.

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4. ALL PORTIONS OF EXISTING SITE ACCESS DRIVEWAYS THAT ARE NO LONGER REQUIRED MUST BE CLOSED AND RESTORED WITH SOFT LANDSCAPING AND FULL CONCRETE CURBS TO THE SATISFACTION OF TRANSPORTATION SERVICES.

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9. ALL PROPOSED TYPE B LOADING SPACES HAVE 4m OVERHEAD/VERTICAL CLEARANCE.

10. ALL PROPOSED BICYCLE SPACES HAVE OVERHEAD/VERTICAL CLEARANCE OF 2.1m.

11. LOADING SPACE 1 TO BE RESERVED FOR WASTE COLLECTION AFTER HOURS; LOADING SPACE 2 FOR DELIVERIES ONLY

12. ALL SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGNS MUST BE VISIBLE TO DRIVER AND NOT OBSTRUCTED BY LANDSCAPE.

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15. ALL SIGNS AND CONVEX MIRRORS TO BE FITTED WITH A RUBBERIZED COATING AROUND EDGES WHEN OUTER EDGE OF SIGN EXTENDS BEYOND COLUMN EDGE AND / OR WHEN LESS THAN MINIMUM VERTICAL CLEARANCE (2.1 METRES) IS PROVIDED.

The Loading Management Plan and associated Memo for 165 Tycos Drive, prepared by BA Group, outlines how the development will accommodate servicing, waste collection, and deliveries. The project proposes a 5-storey office building and a showroom, with access provided solely from Tycos Drive. In accordance with North York By-law 7625, the site requires two loading spaces, and the proposal includes two Type "B" spaces: one for solid waste and deliveries, and the other for deliveries only. Because the showroom is display-focused, delivery demand will be minimal. Waste collection will be scheduled outside business hours, with deliveries occurring during the day. In the unlikely event both spaces are in use at once, a management procedure will see on-site staff temporarily relocate vehicles to allow safe exiting.

- Loading Management Approach**
- Showroom deliveries minimal since space is display-only.
 - Owner will manage operations
 - Waste collection outside business hours.
 - Deliveries during business hours.

This scheduling should prevent simultaneous conflicts between waste and delivery vehicles.

- If both spaces are occupied:
- Vehicle enters Loading Space 1 forward.
 - On-site staff temporarily relocate vehicle in Loading Space 2 to the drive aisle.
 - Vehicle in Space 1 exits using the freed space.
 - Relocated vehicle returns to Space 2.
- Vehicle manoeuvring diagrams (VMDs) as prepared by BA Group confirm feasibility of these operations for waste trucks, MSU trucks, Wheel-Trans, and other vehicles .

LEGEND

LANDSCAPE

MINIMUM TREE PROTECTION ZONE for tree identified for preservation circle; with radius in metres, as measured from edge of stem.

TREE PROTECTION FENCE Phase 1

TREE PROTECTION FENCE Phase 2

AIR-SPADE TRENCH LOCATION

EXISTING TREE

PROPOSED TREE Deciduous

PROPOSED TREE Coniferous

SOFT LANDSCAPE AREAS

NOTE: SEE ARBORIST DRAWINGS FOR TREE PRESERVATION STRATEGY DETAILS



Statistics Template – Toronto Green Standard Version 4.0
Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit www.toronto.ca/greendesignsupport/

| General Project Description | Proposed |
|---------------------------------------|-----------|
| Total Gross Floor Area | 5,133.6m2 |
| Breakdown of project components (m²): | |
| Residential | N/A |
| Retail | N/A |
| Commercial | 5,133.6m2 |
| Industrial | N/A |
| Institutional/Other | N/A |
| Total number of residential units | N/A |

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

| Low Emissions Transportation | Required | Proposed | Proposed % |
|---|----------|----------|------------|
| Number of Parking Spaces | 128 | 20 | 15.625% |
| Number of EV Parking Spaces (Residential) | 0 | 0 | 0 |
| Number of EV Parking Spaces (non-residential) | 0 | 0 | 0 |

| Cycling Infrastructure | Required | Proposed | Proposed % |
|---|----------|----------|------------|
| Number of long-term bicycle parking spaces (all-uses) | 3 | 4 | 133% |
| Number of long-term bicycle parking located on: | | | |
| a) first storey of building | 3 | 4 | 133% |
| b) second storey of building | 0 | 0 | 0 |
| c) first level below-ground | 0 | 0 | 0 |
| d) second level below-ground | 0 | 0 | 0 |
| e) other levels below-ground | 0 | 0 | 0 |

| Cycling Infrastructure | Required | Proposed | Proposed % |
|--|----------|----------|------------|
| Number of short-term bicycle parking spaces | 6 | 18 | 300% |
| Number of shower and change facilities (non-residential) | 0 | 0 | 0% |

| Tree Canopy | Required | Proposed | Proposed % |
|--|----------|-----------|------------|
| Total Soil Volume (40% of the site area + 66 m² x 30 m³) | 710 m3 | 780.3 m3 | 109.9 % |
| Soil volume provided within the site area (m³) | | 491.74 m3 | 63 % |
| Soil Volume provided within the public boulevard (m³) | | 288.56 m3 | 37 % |

Section 2: For Site Plan Control Applications

| Cycling Infrastructure | Required | Proposed | Proposed % |
|---|----------|----------|------------|
| Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade | 6 | 18 | 300% |
| Number of publicly accessible bicycle parking spaces | 0 | 0 | 0 |
| Number of energized outlets for electric bicycles | 0 | 0 | 0 |

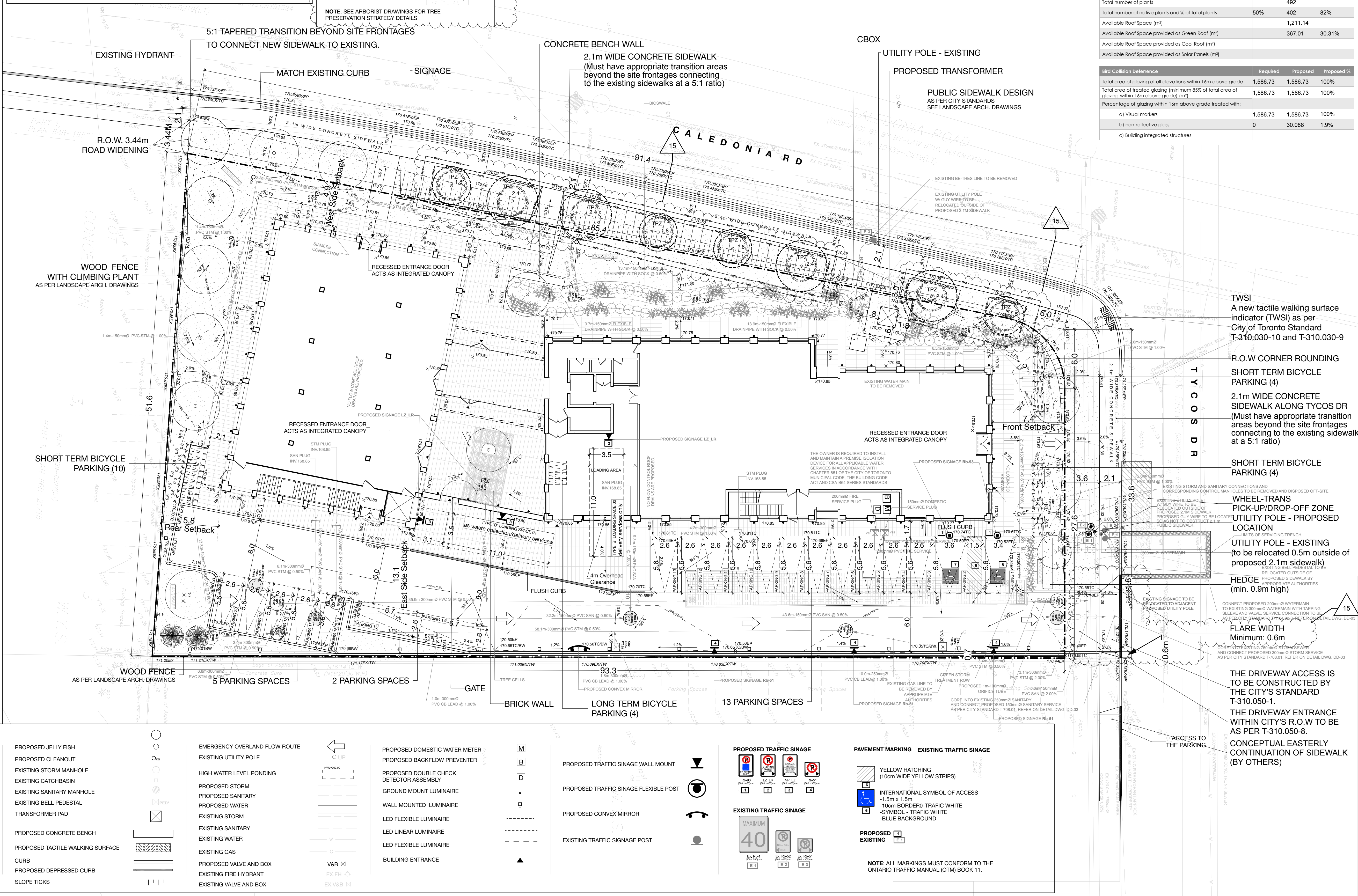
| Tree Canopy | Required | Proposed | Proposed % |
|--|----------|-------------|------------|
| Total site area (m²) | | 3,903.82 m2 | |
| Total Soil Volume (40% of the site area + 66 m² x 30 m³) | | 710 m3 | 780.3 m3 |
| Total number of trees planted | | 8 | |
| Number of surface parking spaces (if applicable) | | 20 | |
| Number of shade trees located in surface parking area | 4 | 6 | |

| Landscaping & Biodiversity | Required | Proposed | Proposed % |
|---|----------|-------------|------------|
| Total non-roof hardscape area (m²) | | 1,659.92 m2 | |
| Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m²) | | 829.96 m2 | 118% |
| Area of non-roof hardscape treated with: (indicate m²) | | | |
| a) high-obedo surface material | | 978.42 m2 | |
| b) open-grid pavement | | | |
| c) shade from tree canopy | | | |

| Landscaping & Biodiversity | Required | Proposed | Proposed % |
|---|----------|-----------|------------|
| d) shade from high-obedo structures | | | |
| e) shade from energy generation structures | | | |
| Percentage of Lot Area as Soft Landscaping (non-residential only) | | 715.02 m2 | 28.9% |
| Total number of plants | | 492 | |
| Total number of native plants and % of total plants | 50% | 402 | 82% |
| Available Roof Space (m²) | | 1,211.14 | |
| Available Roof Space provided as Green Roof (m²) | | 367.01 | 30.31% |
| Available Roof Space provided as Cool Roof (m²) | | | |
| Available Roof Space provided as Solar Panels (m²) | | | |

| Bird Collision Deterrence | Required | Proposed | Proposed % |
|---|----------|----------|------------|
| Total area of glazing of all elevations within 1.6m above grade | 1,586.73 | 1,586.73 | 100% |
| Total area of treated glazing (minimum 85% of total area of glazing within 1.6m above grade) (m²) | | 1,586.73 | 100% |
| Percentage of glazing within 1.6m above grade treated with: | | | |
| a) Visual markers | 1,586.73 | 1,586.73 | 100% |
| b) non-reflective glass | 0 | 30.088 | 1.9% |
| c) Building integrated structures | | | |

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TWSI
A new tactile walking surface indicator (TWSI) as per City of Toronto Standard T-310.030-10 and T-310.030-9

R.O.W CORNER ROUNDING
SHORT TERM BICYCLE PARKING (4)

2.1m WIDE CONCRETE SIDEWALK ALONG TYCOS DR (Must have appropriate transition areas beyond the site frontages connecting to the existing sidewalks at a 5:1 ratio)

SHORT TERM BICYCLE PARKING (4)

WHEEL-TRANS PICK-UP/DROP-OFF ZONE
UTILITY POLE - PROPOSED LOCATION

UTILITY POLE - EXISTING (to be relocated 0.5m outside of proposed 2.1m sidewalk)

HEDGE (min. 0.9m high)

FLARE WIDTH Minimum: 0.6m

THE DRIVEWAY ACCESS IS TO BE CONSTRUCTED BY THE CITY'S STANDARD T-310.050-1.

THE DRIVEWAY ENTRANCE WITHIN CITY'S R.O.W TO BE AS PER T-310.050-8.

CONCEPTUAL EASTERLY CONTINUATION OF SIDEWALK (BY OTHERS)

LEGEND

| | |
|-------------------------------------|-------------|
| PROPOSED GRADE | × 149.50 |
| PROPOSED GRADE (TOP OF CURB) | × 149.75TC |
| PROPOSED GRADE (EDGE OF PAVEMENT) | × 149.60EP |
| PROPOSED GRADE (TOP OF TOE WALL) | × 149.90TW |
| PROPOSED GRADE (BOTTOM OF TOE WALL) | × 149.90 BW |
| PROPOSED GRADE (TOP OF BENCH) | × 149.20TB |
| PROPOSED GRADE (BOTTOM OF BENCH) | × 149.20BB |
| EXISTING GRADE | × 149.33EX |
| PROPOSED STORM MANHOLE | ○ |
| PROPOSED CATCH BASIN | □ |
| PROPOSED AREA DRAIN | ■ |
| PROPOSED SANITARY MANHOLE | ● |

| | |
|----------------------------------|---|
| PROPOSED JELLY FISH | ○ |
| PROPOSED CLEANOUT | ○ |
| EXISTING STORM MANHOLE | ○ |
| EXISTING CATCH-BASIN | □ |
| EXISTING SANITARY MANHOLE | ● |
| EXISTING BELL PEDESTAL | ○ |
| TRANSFORMER PAD | ⊗ |
| PROPOSED CONCRETE BENCH | ▭ |
| PROPOSED TACTILE WALKING SURFACE | ▨ |
| CURB | ▬ |
| PROPOSED DEPRESSED CURB | ▬ |
| SLOPE TICKS | |

| | |
|-------------------------------|---|
| EMERGENCY OVERLAND FLOW ROUTE | → |
| EXISTING UTILITY POLE | ○ |
| HIGH WATER LEVEL PONDING | ▭ |
| PROPOSED STORM | ▭ |
| PROPOSED SANITARY | ▭ |
| PROPOSED STORM | ▭ |
| EXISTING SANITARY | ▭ |
| EXISTING WATER | ▭ |
| EXISTING GAS | ▭ |
| PROPOSED VALVE AND BOX | ▭ |
| EXISTING FIRE HYDRANT | ▭ |
| EXISTING VALVE AND BOX | ▭ |

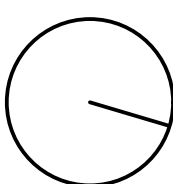
| | |
|---|---|
| PROPOSED DOMESTIC WATER METER | M |
| PROPOSED BACKFLOW PREVENTER | B |
| PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY | D |
| GROUND MOUNT LUMINAIRE | • |
| WALL MOUNTED LUMINAIRE | ▭ |
| LED FLEXIBLE LUMINAIRE | ▭ |
| LED LINEAR LUMINAIRE | ▭ |
| LED FLEXIBLE LUMINAIRE | ▭ |
| BUILDING ENTRANCE | ▭ |

| | |
|---------------------------------------|---|
| PROPOSED TRAFFIC SINAGE WALL MOUNT | ▭ |
| PROPOSED TRAFFIC SINAGE FLEXIBLE POST | ▭ |
| PROPOSED CONVEX MIRROR | ▭ |
| EXISTING TRAFFIC SIGNAGE POST | ▭ |

| | |
|-------------------------|---|
| PROPOSED TRAFFIC SINAGE | ▭ |
| EXISTING TRAFFIC SINAGE | ▭ |

| | |
|-------------------------|---|
| PAVEMENT MARKING | ▭ |
| EXISTING TRAFFIC SINAGE | ▭ |

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job title

165 Tycos Dr.

client

Anatolia Investments Corp.

sheet title

Site Plan @ Ground Level

issue date

Wednesday, November 5, 2025

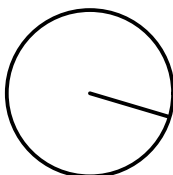
scale

1:200

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2106

A007



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job title
165 Tycos Dr.

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sheet title
Ground Floor Plan

issue date
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scale

1:150

job number

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A101

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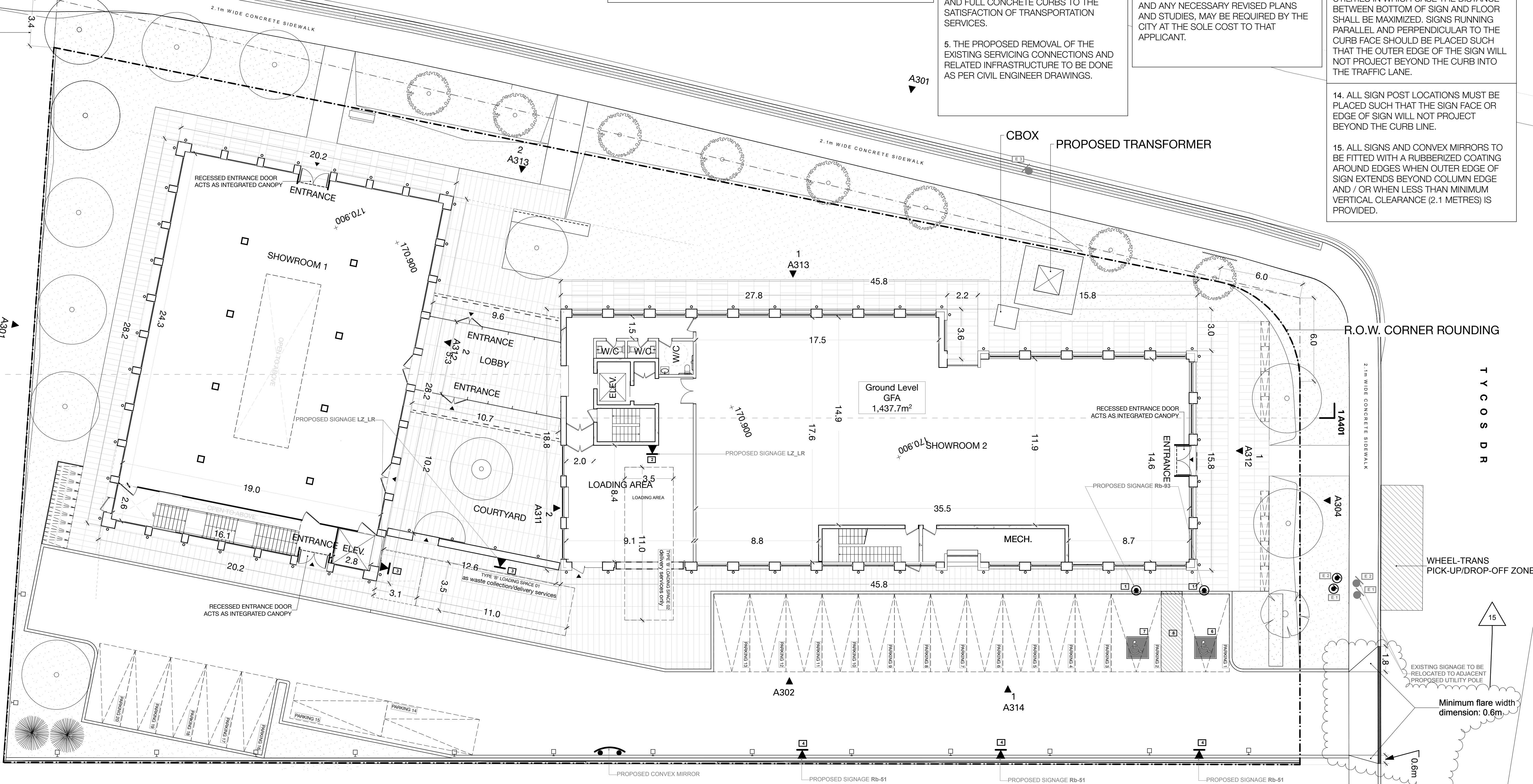
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R.O.W. 3.44m
ROAD WIDENING



LEGEND
SIGNAGE AND PAVEMENT MARKING

PROPOSED TRAFFIC SIGNAGE WALL MOUNT

PROPOSED TRAFFIC SIGNAGE FLEXIBLE POST

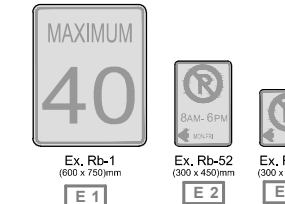
PROPOSED CONVEX MIRROR

EXISTING TRAFFIC SIGNAGE POST

PROPOSED TRAFFIC SIGNAGE



EXISTING TRAFFIC SIGNAGE



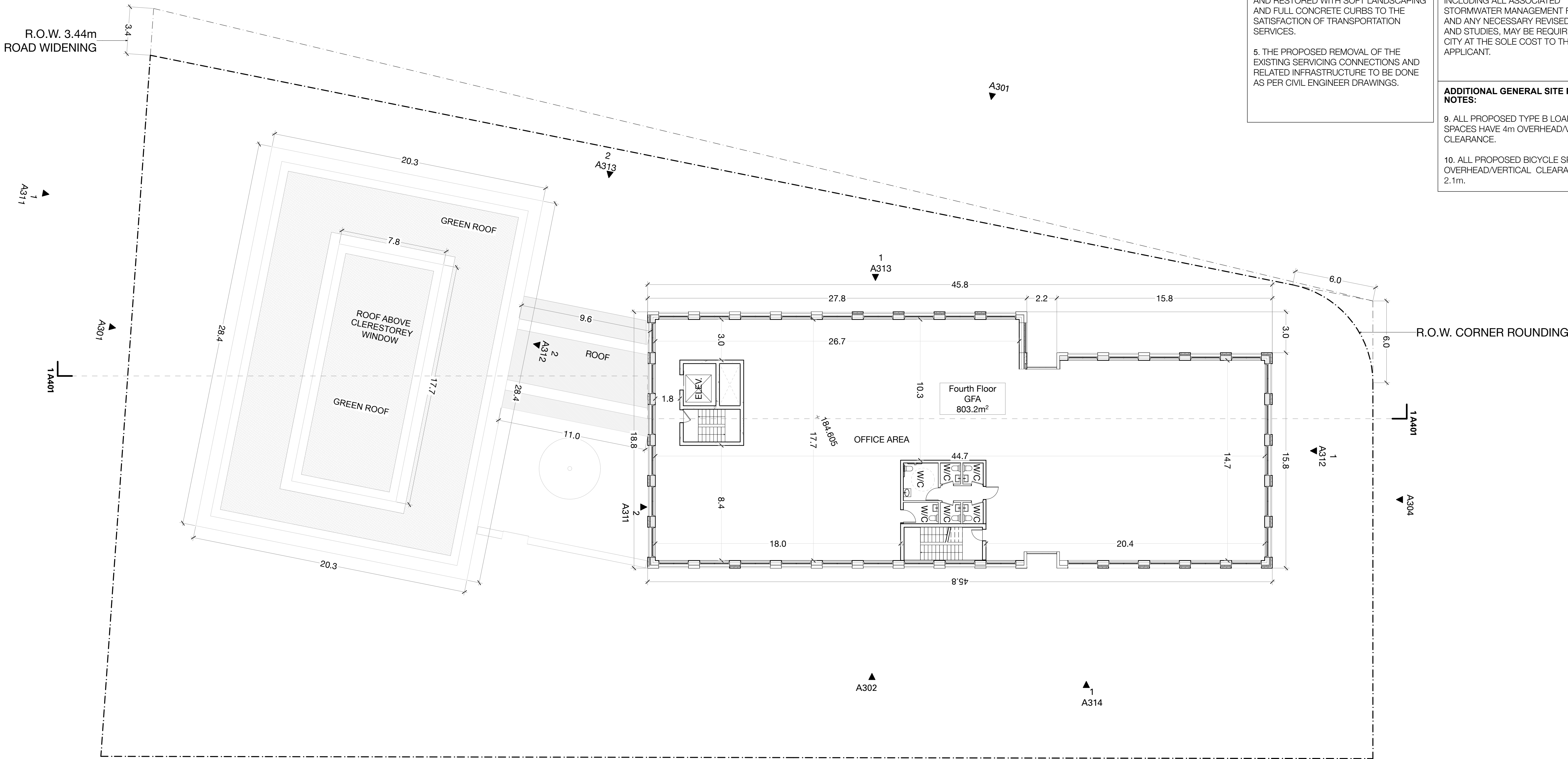
PAVEMENT MARKING EXISTING TRAFFIC SIGNAGE



PROPOSED EXISTING



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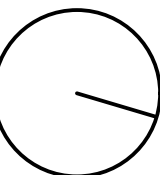
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| 15 | 2025-11-05 | SPA Resubmission |
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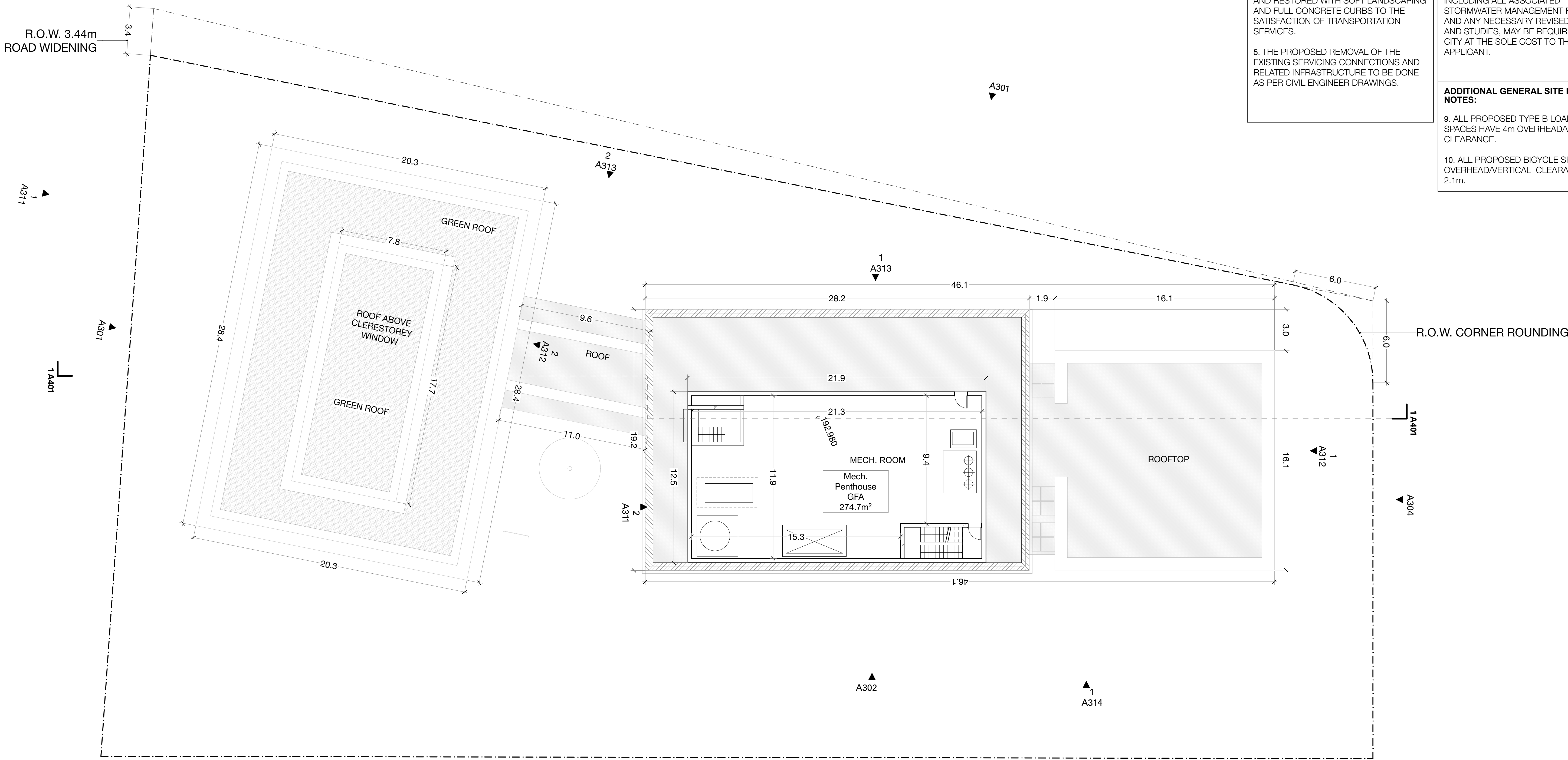


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|-----------------------------|
| job title |
| 165 Tycos Dr. |
| client |
| Anatolia Investments Corp. |
| sheet title |
| Fourth Floor Plan |
| issue date |
| Wednesday, November 5, 2025 |
| scale |
| 1:150 |
| job number |
| 2106 |



GENERAL SITE PLAN NOTES:

1. THE 3.44m WIDE STRIP OF LAND ALONG THE CALEDONIA ROAD FRONTAGE OF THE SITE WILL BE CONVEYED TO THE CITY IN AN UNENCUMBERED MANNER FOR A NOMINAL SUM TO THE SATISFACTION OF THE CITY.
2. THE 6m CORNER ROUNDING AT THE NORTH-WEST CORNER OF THE SITE WILL BE CONVEYED TO THE CITY IN AN UNENCUMBERED MANNER FOR A NOMINAL SUM TO THE SATISFACTION OF THE CITY.
3. THE NEW RECONSTRUCTED PUBLIC SIDEWALKS ALONG THE DEVELOPMENT SITE FRONTAGES WILL BE BUILT TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY.
4. ALL PORTIONS OF EXISTING SITE ACCESS DRIVEWAYS THAT ARE NO LONGER REQUIRED MUST BE CLOSED AND RESTORED WITH SOFT LANDSCAPING AND FULL CONCRETE CURBS TO THE SATISFACTION OF TRANSPORTATION SERVICES.
5. THE PROPOSED REMOVAL OF THE EXISTING SERVICING CONNECTIONS AND RELATED INFRASTRUCTURE TO BE DONE AS PER CIVIL ENGINEER DRAWINGS.

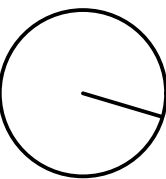
GENERAL SITE PLAN NOTES (Continued):

6. THE PROPOSED SERVICING CONNECTIONS TO BE DONE AS PER CIVIL ENGINEER DRAWINGS.
7. REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR LANDSCAPE DESIGN AND PAVEMENT SPECIFICATIONS AND DETAILS
8. STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE A SINGLE PARCEL OF LAND, UNDER ONE OWNER, UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR SEVERANCE, PART-LOT CONTROL, SUBDIVISION, CONDOMINIUM APPROVAL OR ANY OTHER FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS ASSUMPTION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THAT APPLICANT.

ADDITIONAL GENERAL SITE PLAN NOTES:

9. ALL PROPOSED TYPE B LOADING SPACES HAVE 4m OVERHEAD/VERTICAL CLEARANCE.
10. ALL PROPOSED BICYCLE SPACES HAVE OVERHEAD/VERTICAL CLEARANCE OF 2.1m.

| Mark | Date | Description |
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| 15 | 2025-11-05 | SPA Resubmission |
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job title
165 Tycos Dr.

client
Anatolia Investments Corp.

sheet title
Mech. Panthouse Floor Plan

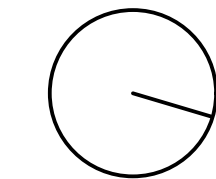
issue date
Wednesday, November 5, 2025

scale
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job number
2106

| Mark | Date | Description |
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| 15 | 2025-11-05 | SPA Resubmission |

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job title
165 Tycos Dr.

client
Anatolia Investments Corp.

sheet title
Roof Plan

issue date
Wednesday, November 5, 2025

scale
1:150

job number
2106

A107

Green Roof Statistics

| | Proposed | |
|--|------------|----------|
| Gross Floor Area, as defined in Green Roof Bylaw (m²) | 5,133.6 | |
| Total Roof Area (m²) | 1,211.14 | |
| Area of Residential Private Terraces (m²) | N/A | |
| Rooftop Outdoor Amenity Space, if in a Residential Building (m²) | N/A | |
| Area of Renewable Energy Devices (m²) | 0 | |
| Tower (s)Roof Area with floor plate less than 750 m² | 0 | |
| Total Available Roof Space (m²) | 121,211.14 | |
| Green Roof Coverage | Required | Proposed |
| Coverage of Available Roof Space (m²) | 363.34 | 363.34 |
| Coverage of Available Roof Space (%) | 30% | 30% |

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GENERAL SITE PLAN NOTES (Continued):

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